

0 3 6 9 12 15  
1cm = 3m  
1:300

Contour Interval - 0.5m

#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

#### NOTE:

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	KIP - Kerb Inlet Pit
	SMH - Sewer Manhole
	SJ - Sewer Connection
	SwP - Stormwater Pit
	IAD - Drainage Connection
	HC - House Connection - Water
	EPI - Electricity Pillar
	EPt - Electricity Pit
	LP - Light Pole
	NBN - Pit
	Site Boundary
	Easement
	Stormwater Drainage Line
	Sewer Line
	Water Main
	Retaining Wall



Property Details:  
SUBDIVISION OF  
LOT 200 DP 1266943

Newton Denny Chapelle

Surveyors Planners Engineers  
Email: office@newtondennychapelle.com.au  
LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

#### LOT 301

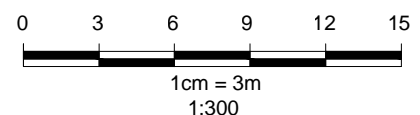
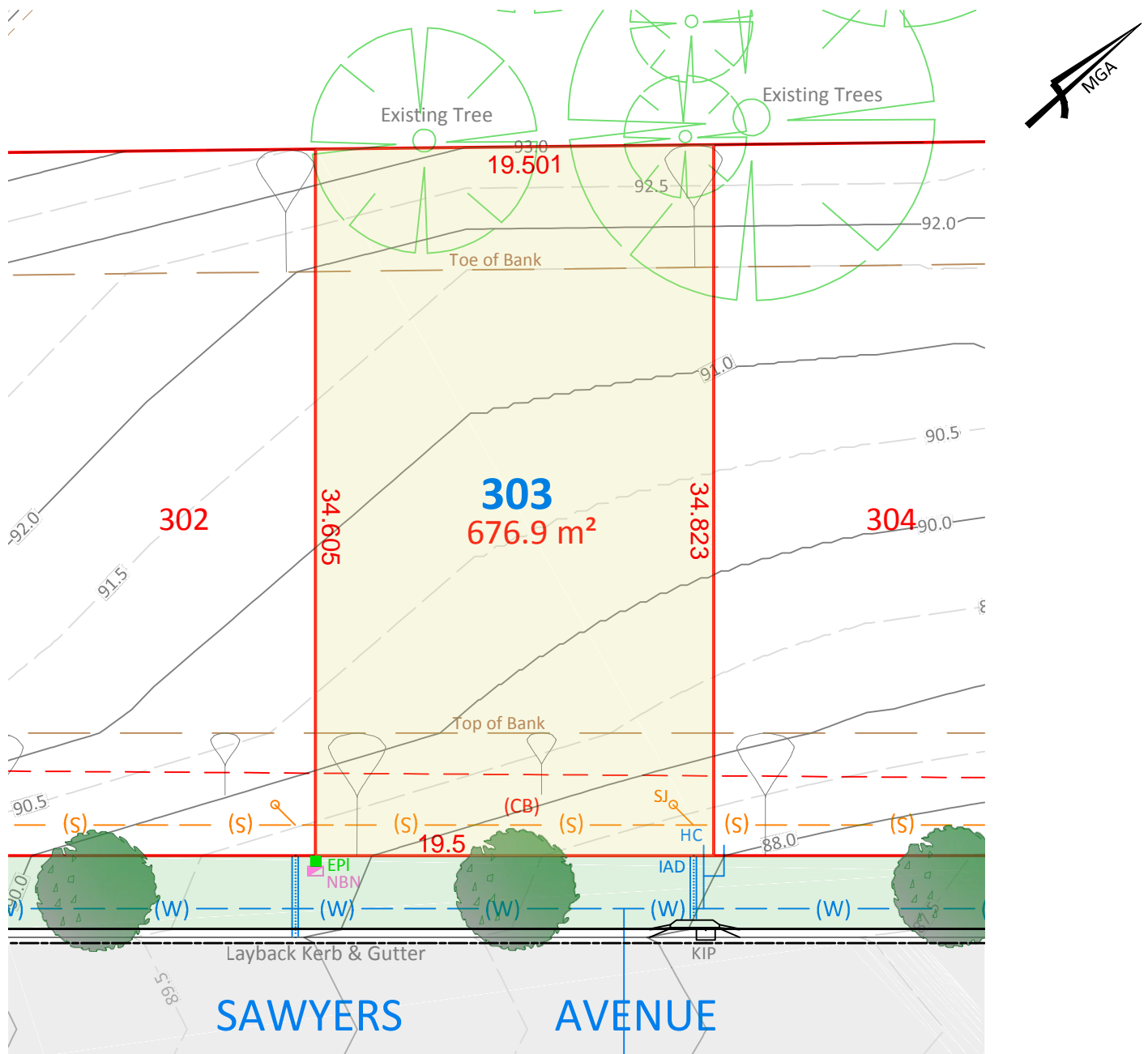
CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps





Contour Interval - 0.5m

#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

#### NOTE:

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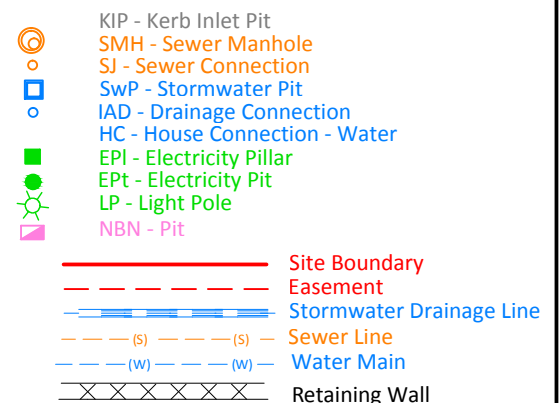
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ABN : 86 220 045 469

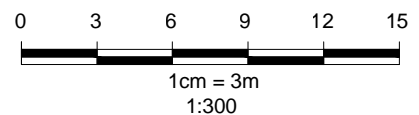
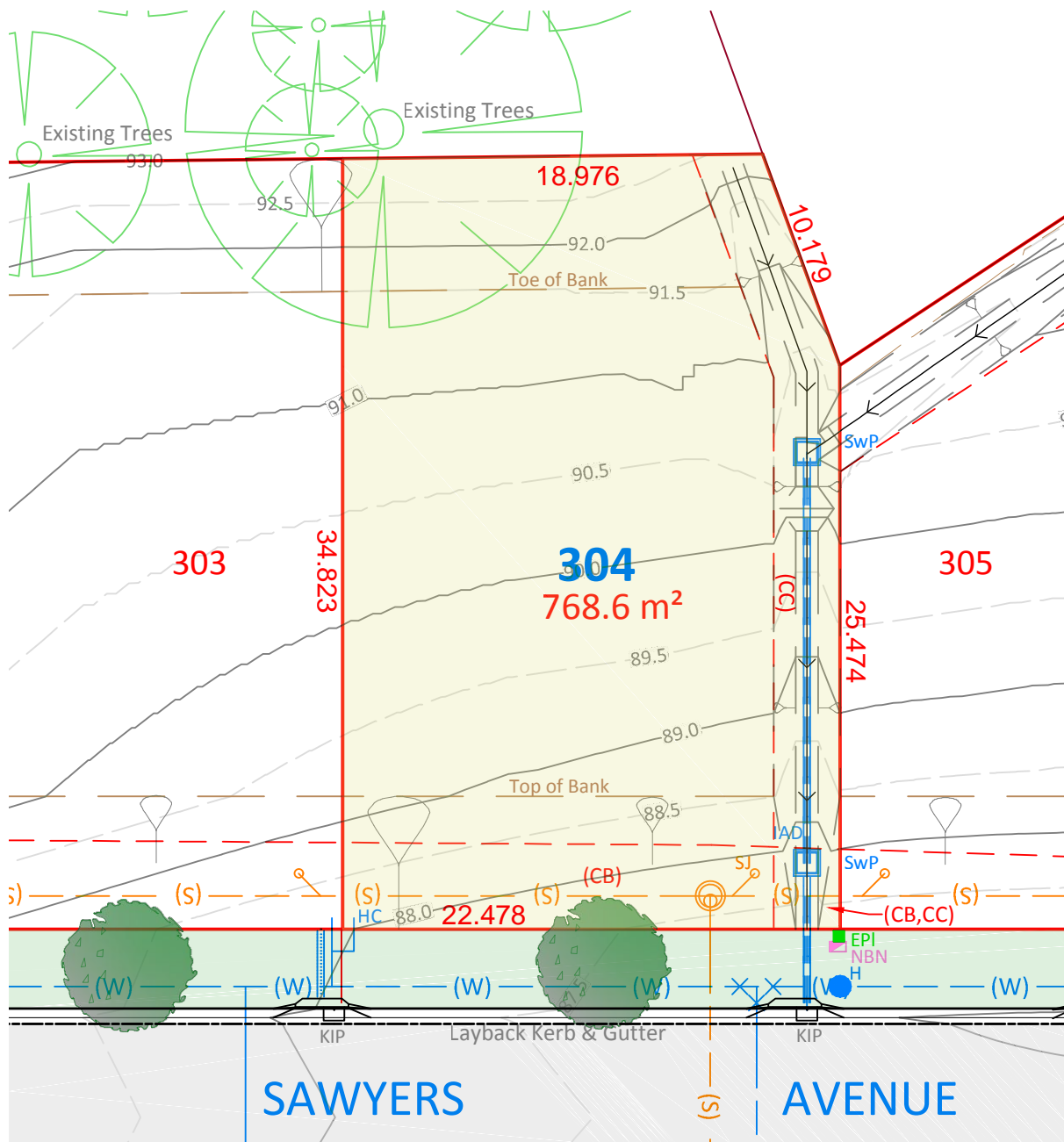
#### LOT 303

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



Contour Interval - 0.5m

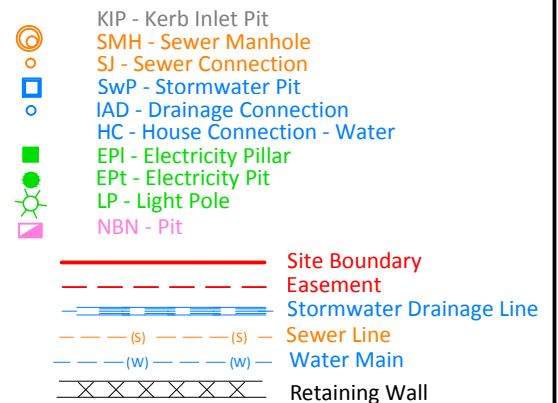
#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

(CC) Easement to drain water - 3 wide

#### NOTE:

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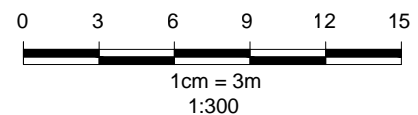
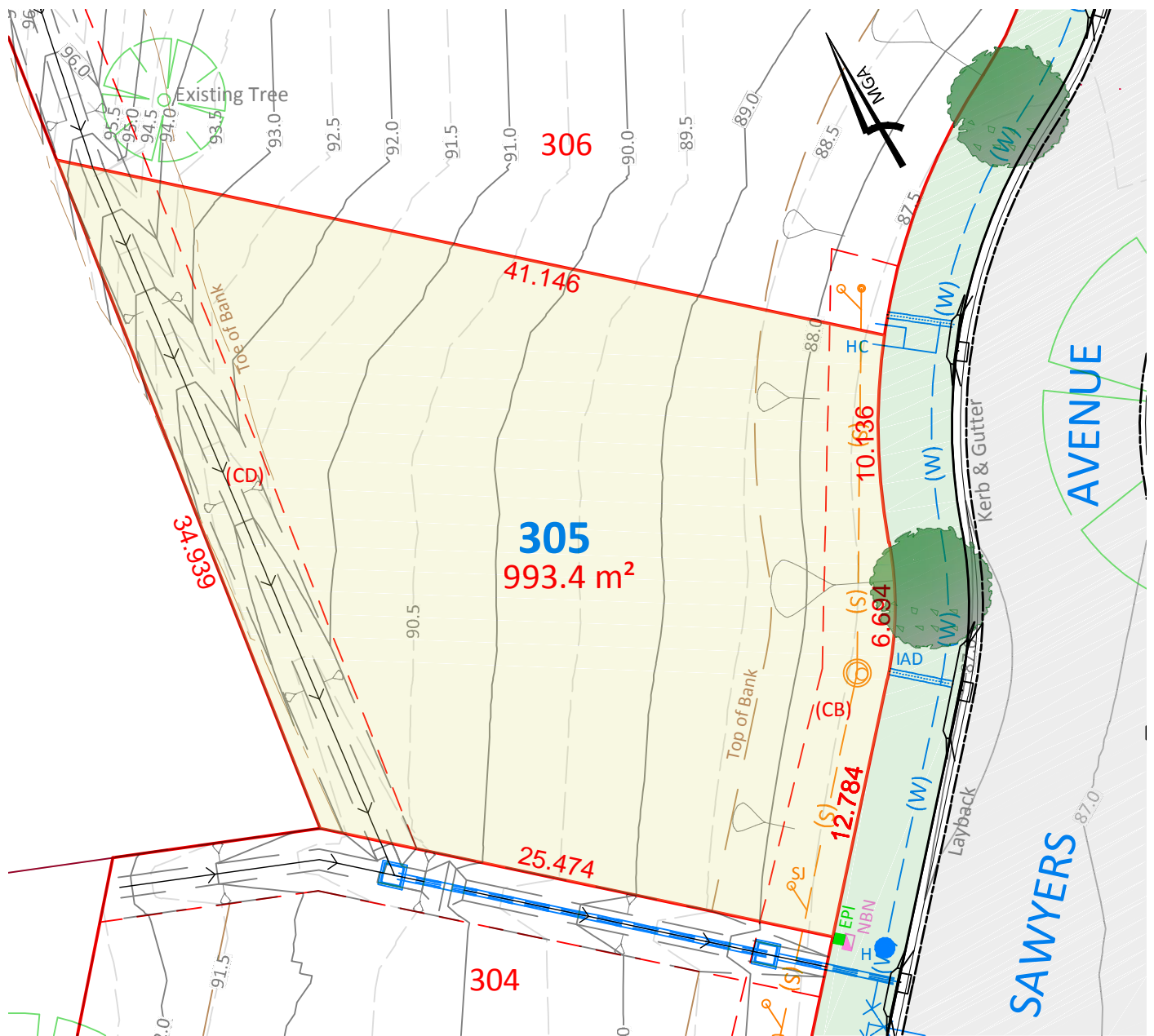
#### LOT 304

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



Contour Interval - 0.5m

#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

(CD) Easement to drain water - variable width

#### NOTE:

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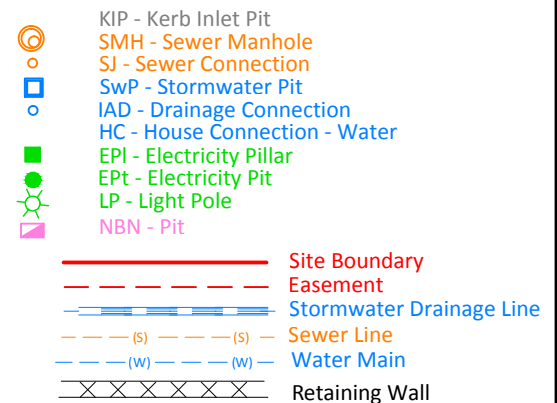
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LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

#### LOT 305

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE:

15.06.20

SCALE:

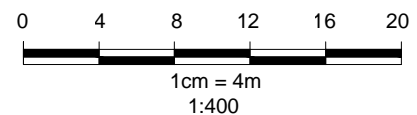
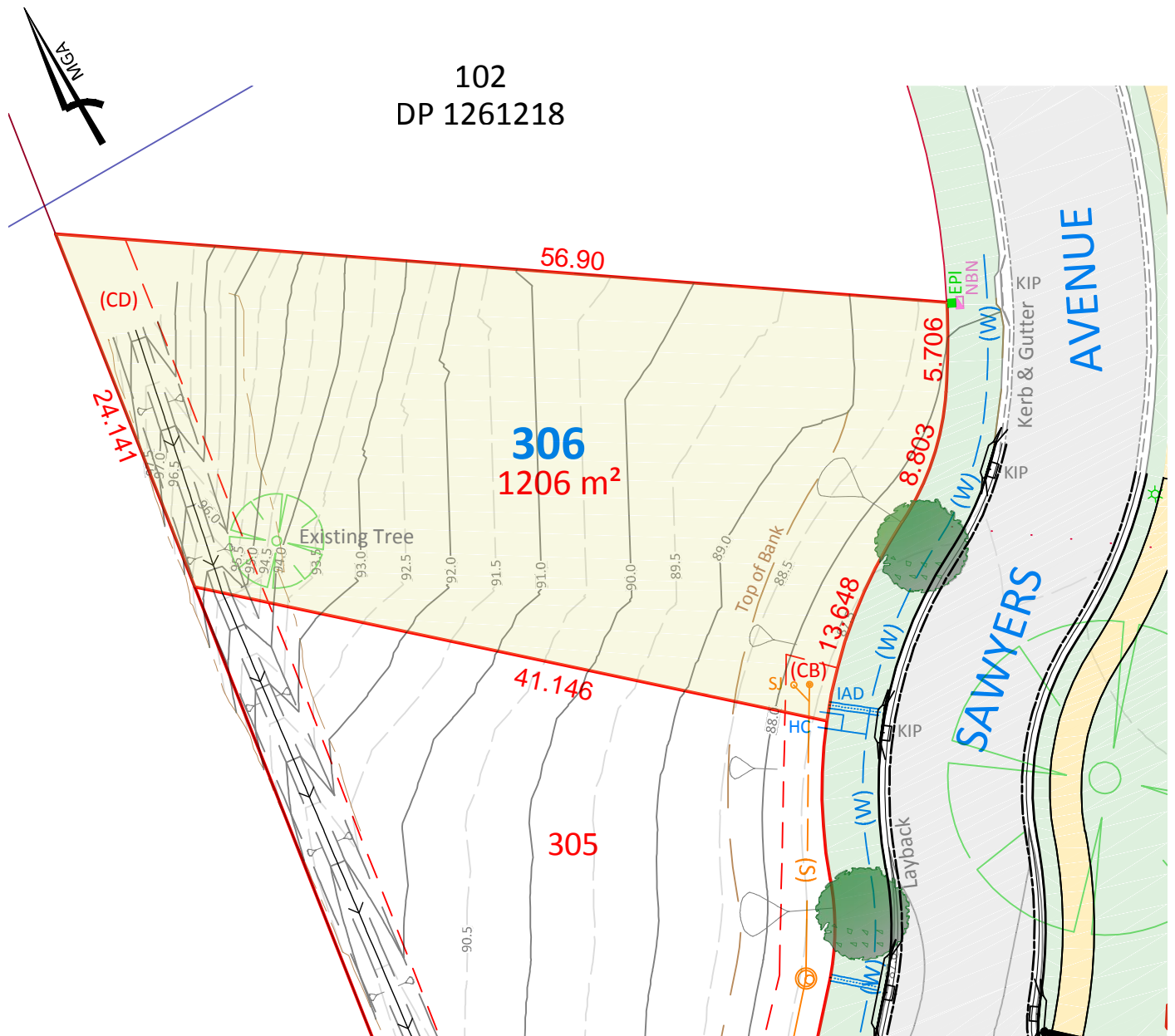
1:300@A4

REF: 18126-3(1)

DRAWN: ps



102  
DP 1261218



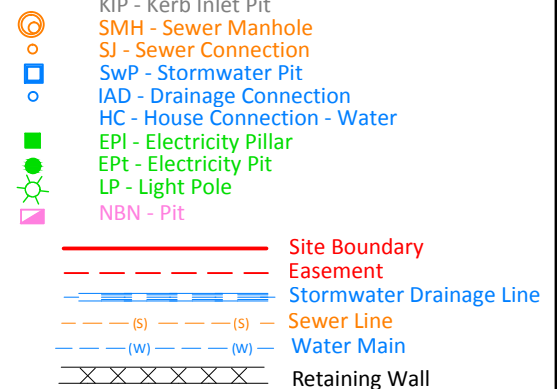
#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

(CD) Easement to drain water - variable width

#### NOTE:

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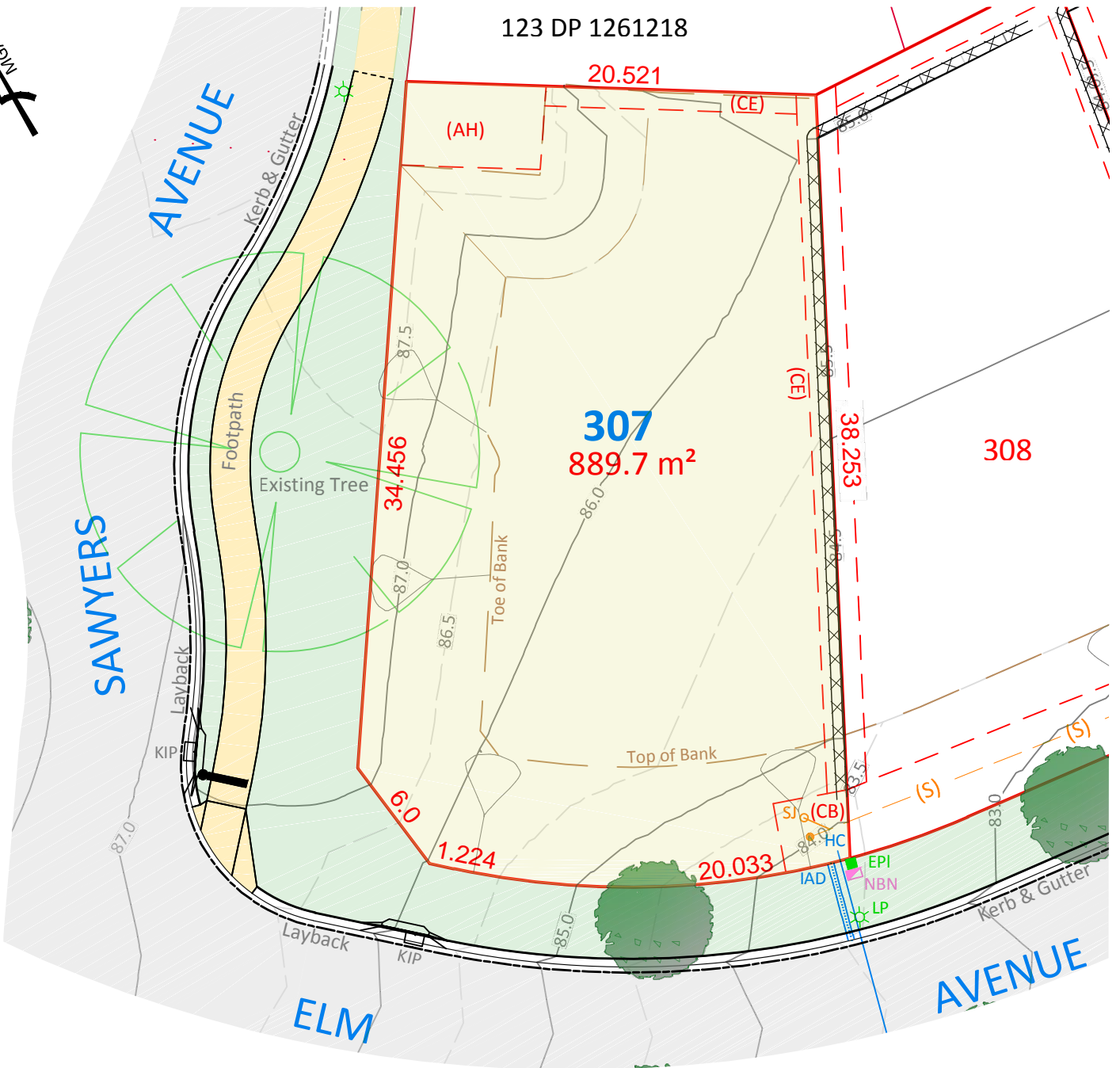
#### LOT 306

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:400@A4

REF: 18126-3(1)  
DRAWN: ps



#### EASEMENTS

(AH) Easement for multi purpose electrical installation 4.2 wide (DP1261218)

(CB) Easement for sewer gravity main - variable width

(CE) Easement for maintenance and repair - 1 wide

#### NOTE:

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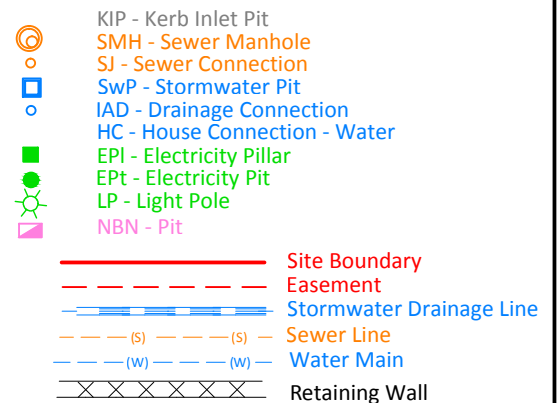
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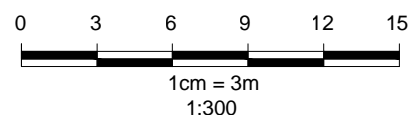
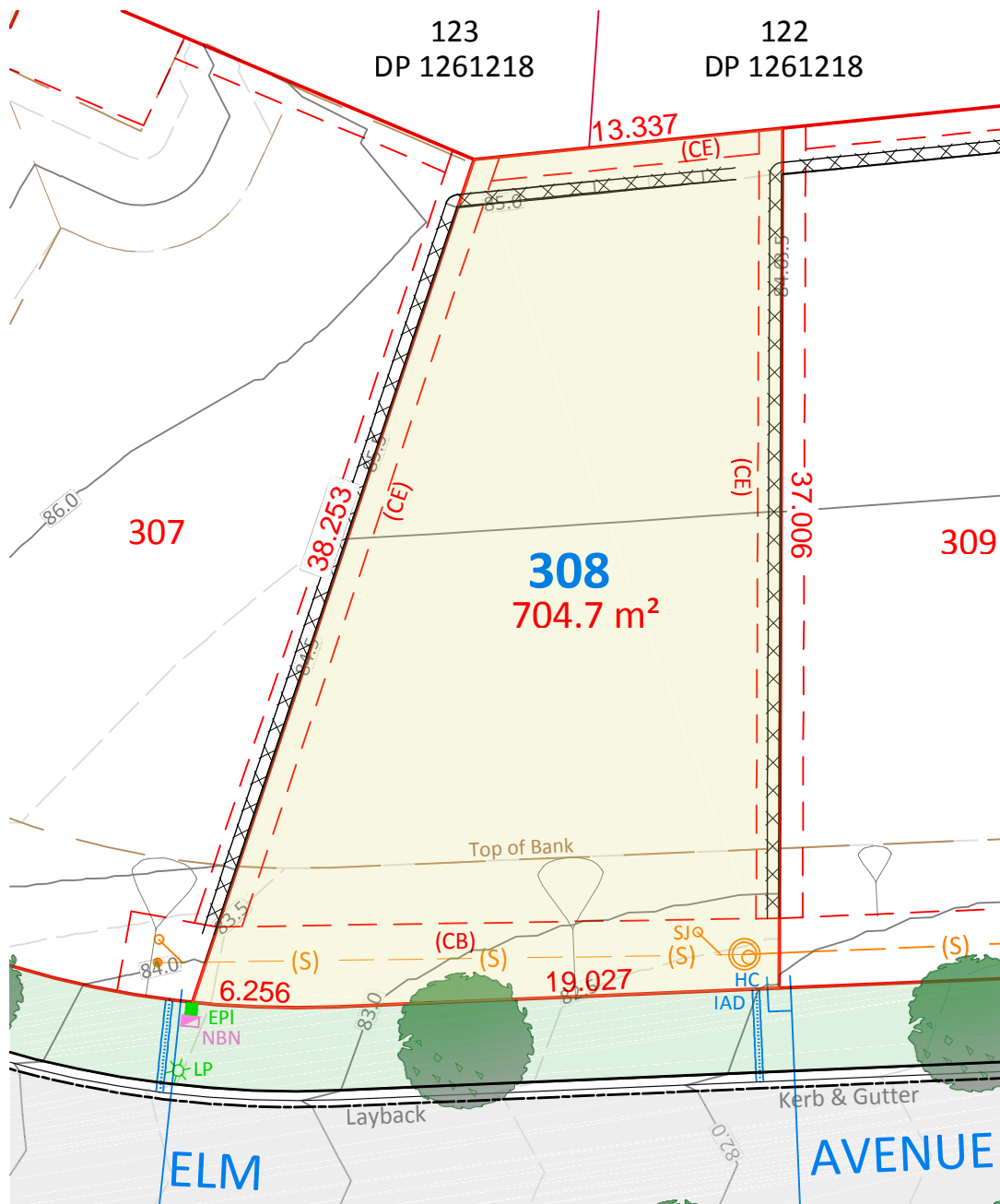
#### LOT 307

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



Contour Interval - 0.5m

#### EASEMENTS

(CB) Easement for sewer gravity main - variable width

(CE) Easement for maintenance and repair 1 wide

#### NOTE:

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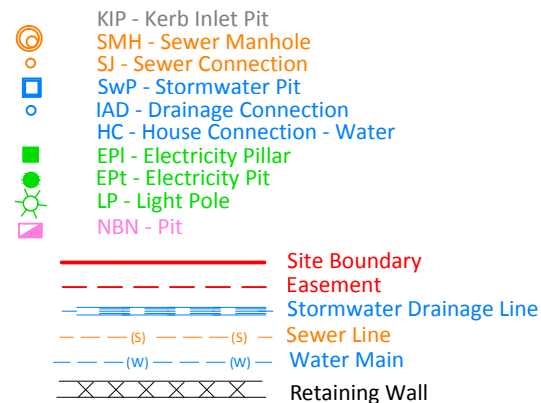
The finished surface levels and contours may vary to the design surface shown in this plan.

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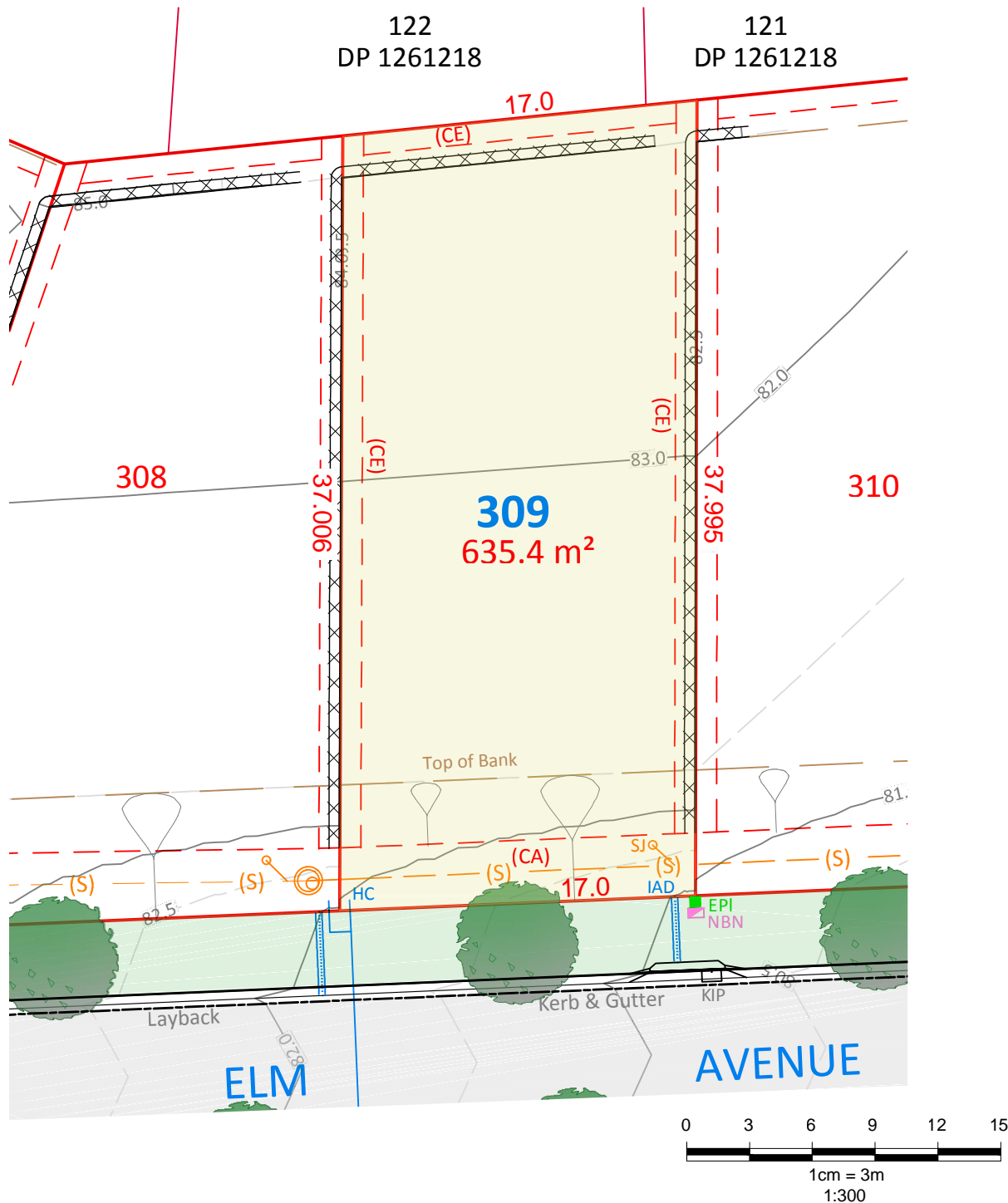
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#### EASEMENTS

- (CA) Easement for sewer gravity main - 3 wide
- (CE) Easement for maintenance and repair 1 wide

#### NOTE:

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- SMH - Sewer Manhole
- SJ - Sewer Connection
- SwP - Stormwater Pit
- IAD - Drainage Connection
- HC - House Connection - Water
- EPI - Electricity Pillar
- EPT - Electricity Pit
- LP - Light Pole
- NBN - Pit
- Site Boundary
- Easement
- Stormwater Drainage Line
- Sewer Line
- Water Main
- Retaining Wall



Property Details:  
SUBDIVISION OF  
LOT 200 DP 1266943

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CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

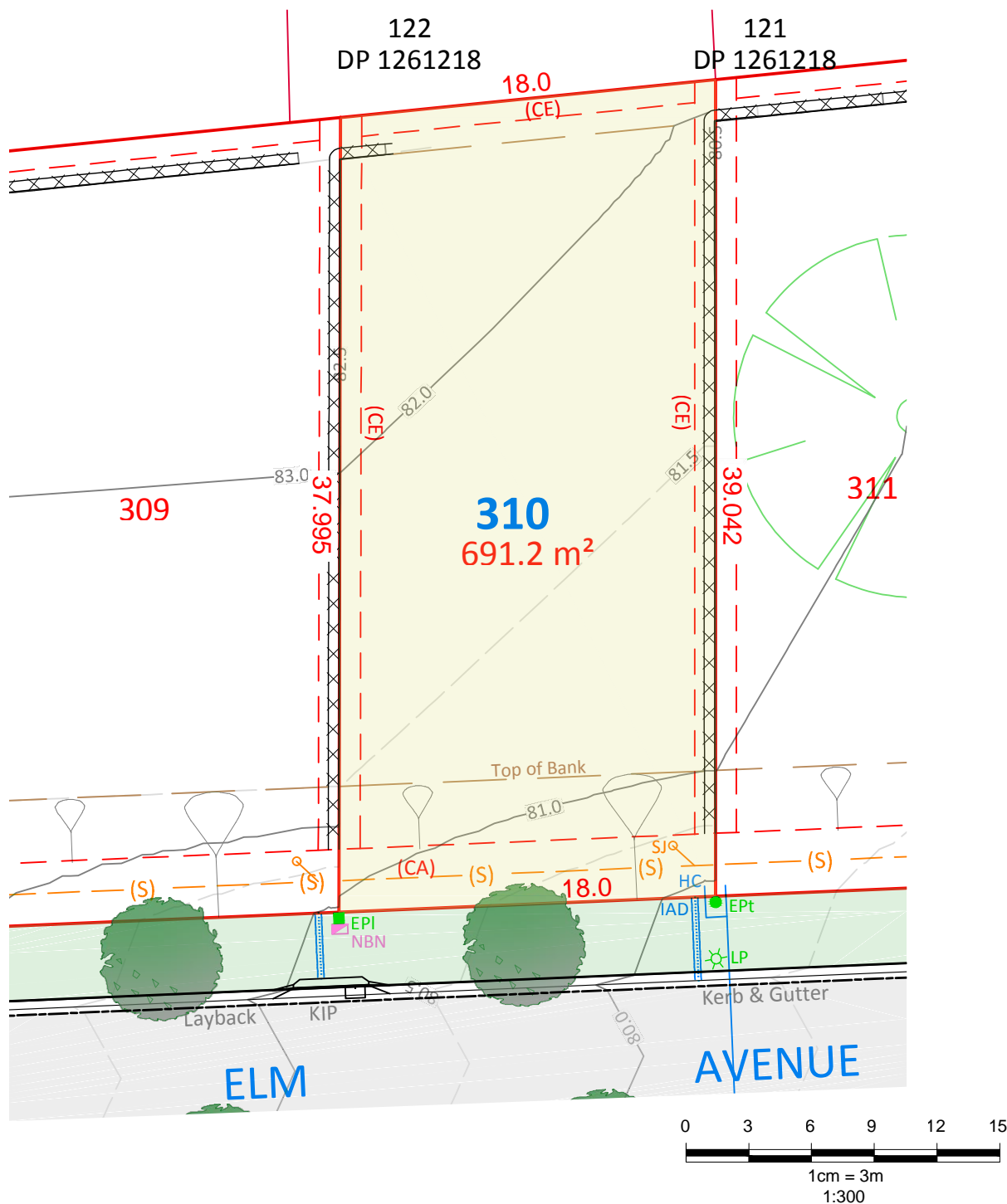
#### LOT 309

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



#### EASEMENTS

- (CA) Easement for sewer gravity main - 3 wide
- (CE) Easement for maintenance and repair 1 wide

#### NOTE:

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- IAD - Drainage Connection
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- EPI - Electricity Pillar
- EPt - Electricity Pit
- LP - Light Pole
- NBN - Pit
- Site Boundary
- Easement
- Stormwater Drainage Line
- Sewer Line
- Water Main
- Retaining Wall



Property Details:  
SUBDIVISION OF  
LOT 200 DP 1266943

Newton Denny Chapelle

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Email: office@newtondennychapelle.com.au  
LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

#### LOT 310

CLIENT: McCLOY GROUP

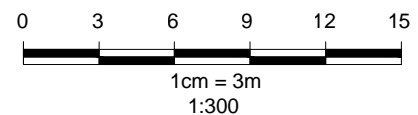
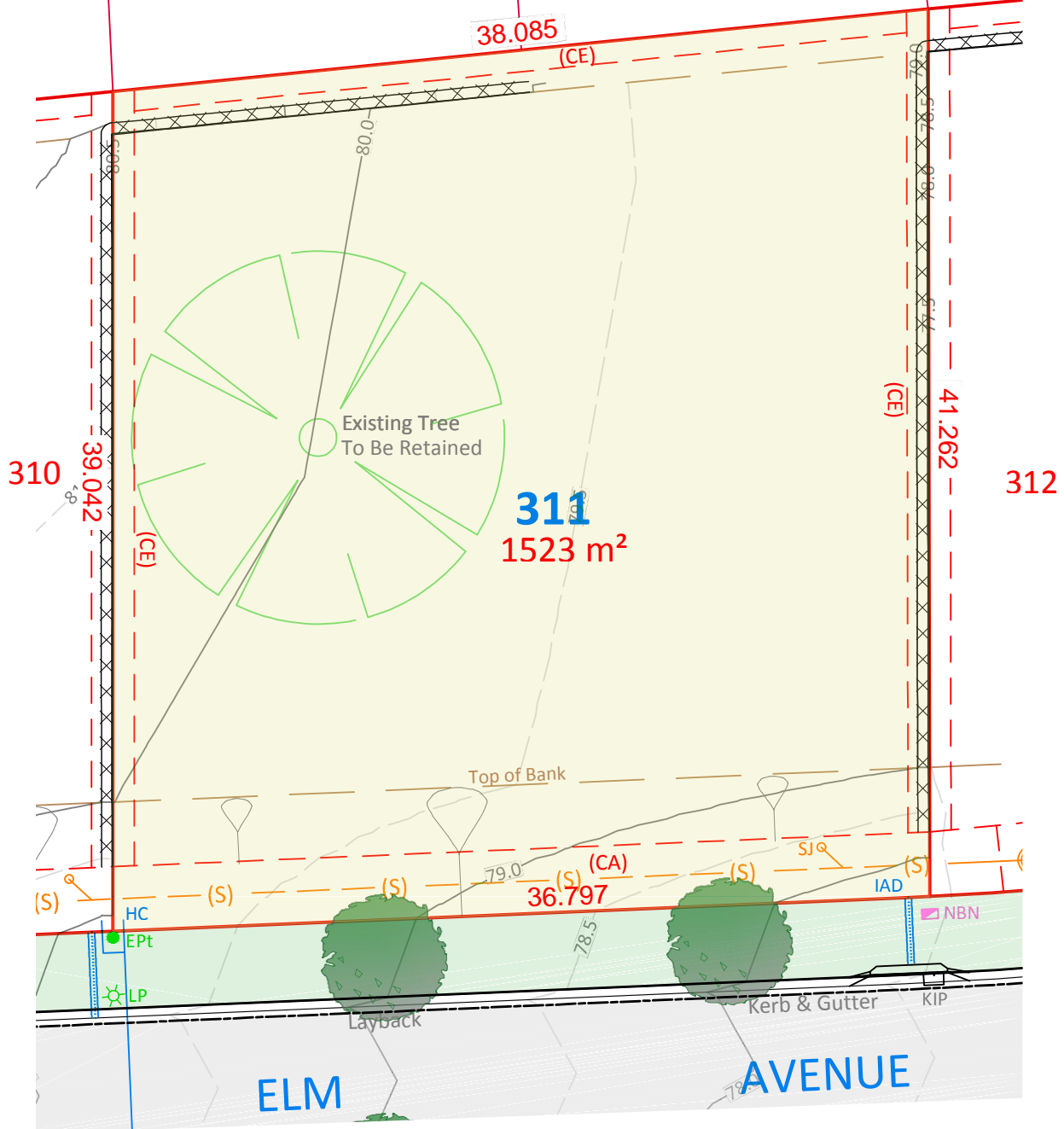
LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps

120 DP 1261218

119 DP 1261218

**EASEMENTS**

(CA) Easement for sewer gravity main - 3 wide

(CE) Easement for maintenance and repair 1 wide

**NOTE:**

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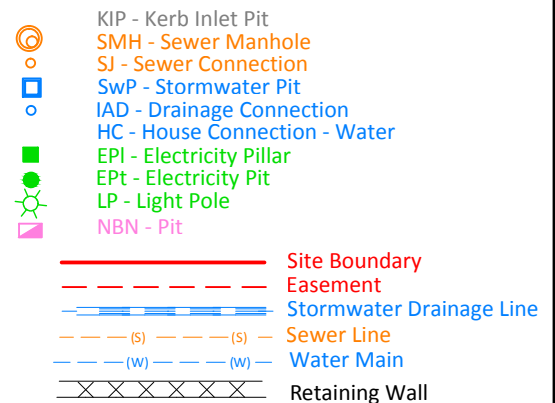
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CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

LOT 311

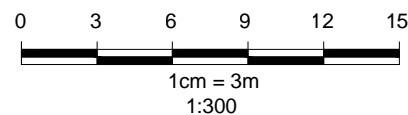
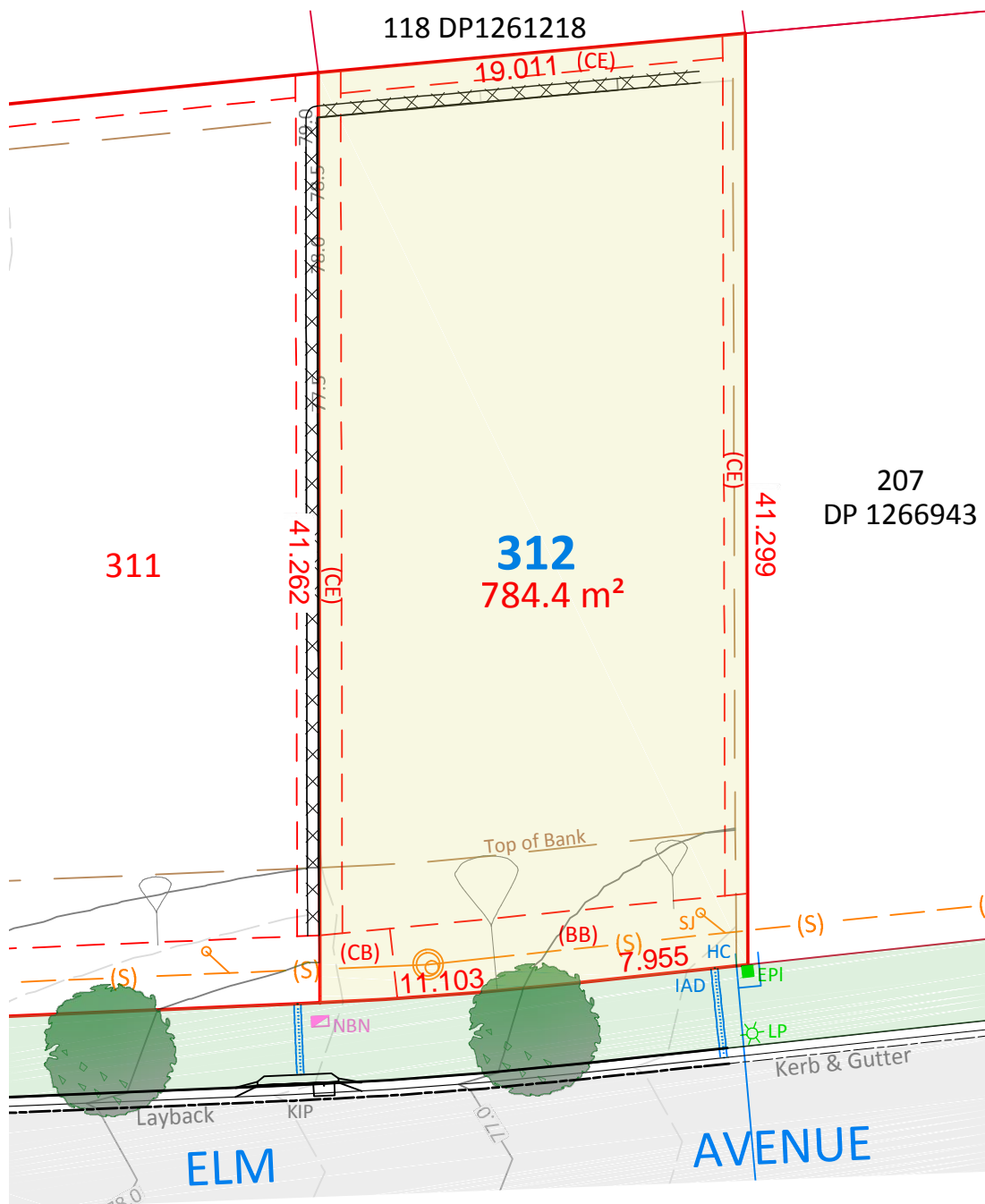
CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps





#### EASEMENTS

- (BB) Easement for sewer gravity main - variable width (DP1266943)
- (CB) Easement for sewer gravity main - variable width
- (CE) Easement for maintenance and repair 1 wide

#### NOTE:

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- LP - Light Pole
- NBN - Pit
- Site Boundary
- Easement
- Stormwater Drainage Line
- Sewer Line
- Water Main
- Retaining Wall



Property Details:  
SUBDIVISION OF  
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ABN : 86 220 045 469

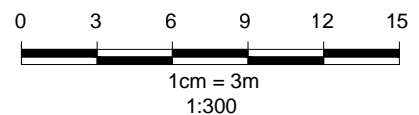
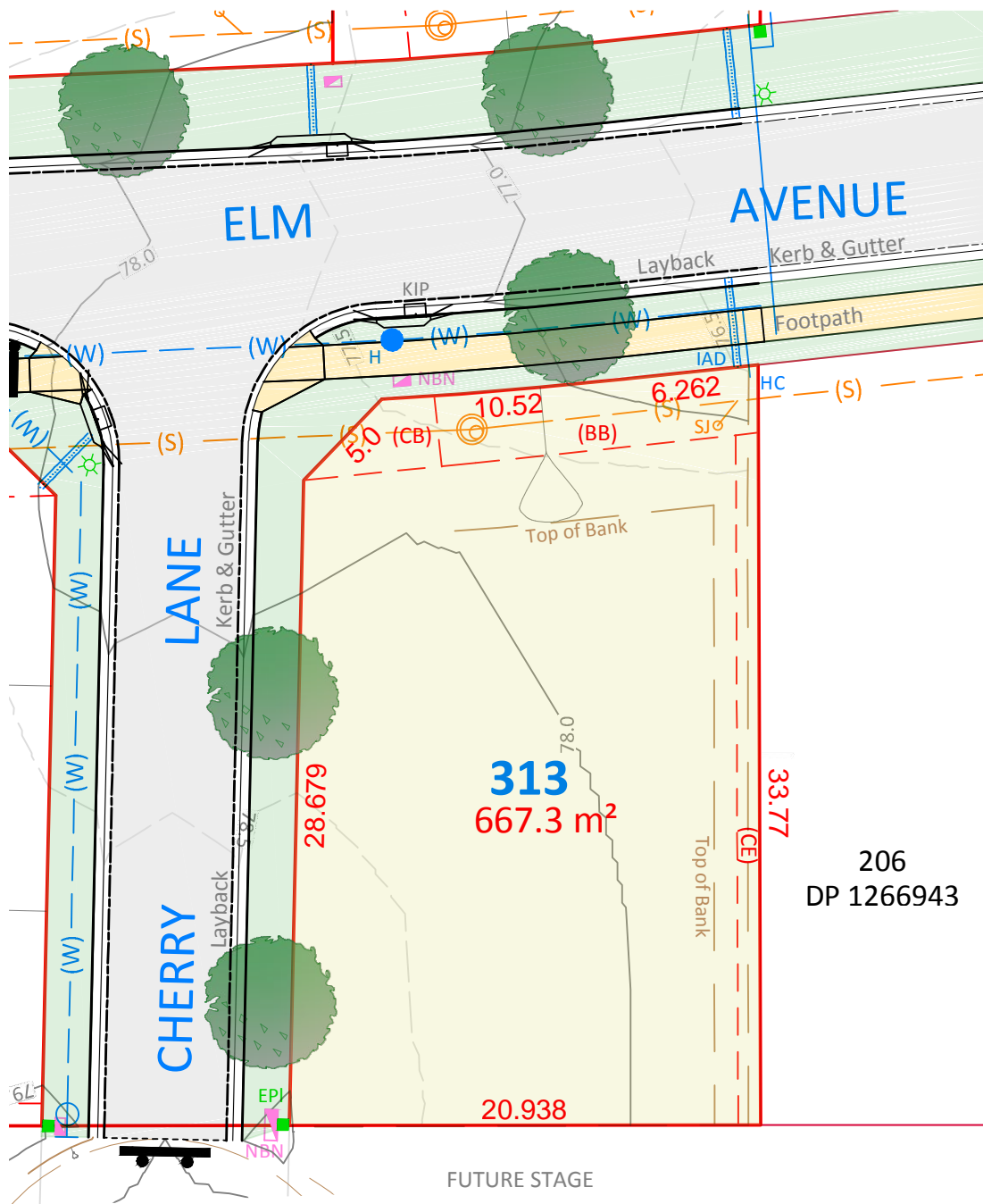
#### LOT 312

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



Contour Interval - 0.5m

#### EASEMENTS

(BB) Easement for sewer gravity main - variable width (DP1266943)  
(CB) Easement for sewer gravity main - variable width  
(CE) Easement for maintenance and repair 1 wide

#### NOTE:

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	NBN - Pit
	Site Boundary
	Easement
	Stormwater Drainage Line
	Sewer Line
	Water Main
	Retaining Wall



Property Details:  
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ABN : 86 220 045 469

#### LOT 313

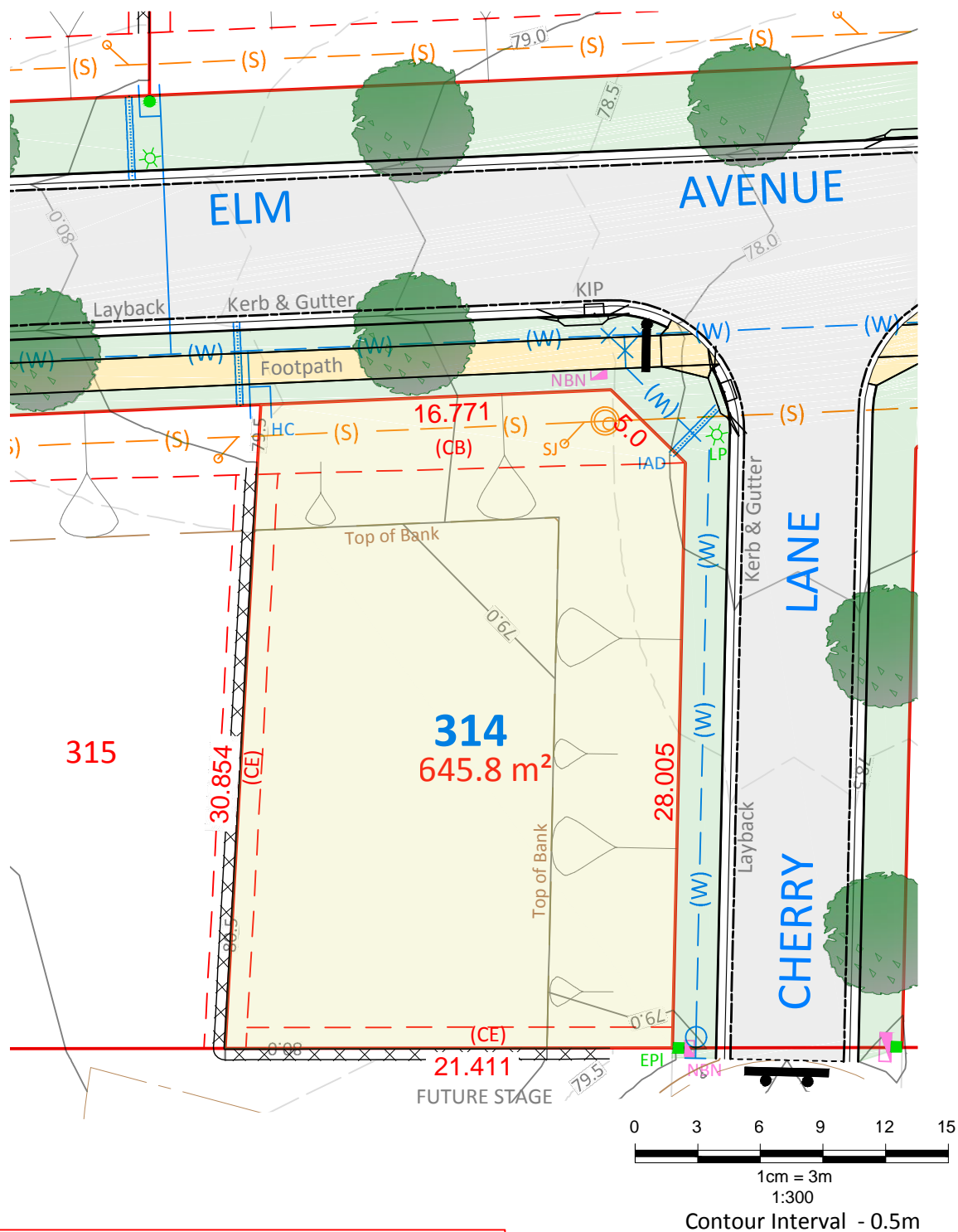
CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps





## EASEMENTS

(CB) Easement for sewer gravity main - variable width  
(CE) Easement for maintenance and repair - 1 wide

**NOTE:**

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 SJ - Sewer Connection  
 SwP - Stormwater Pit  
 IAD - Drainage Connection  
 HC - House Connection - Water  
 EPI - Electricity Pillar  
 EPT - Electricity Pit  
 LP - Light Pole  
 NBN - Pit
-  Site Boundary  
 Easement  
 Stormwater Drainage Line  
 (S) Sewer  
 (W) Water Main  
 Retaining Wall



Property Details:  
SUBDIVISION OF  
LOT 200 DP 1266943

  
Newton Denny Chapelle

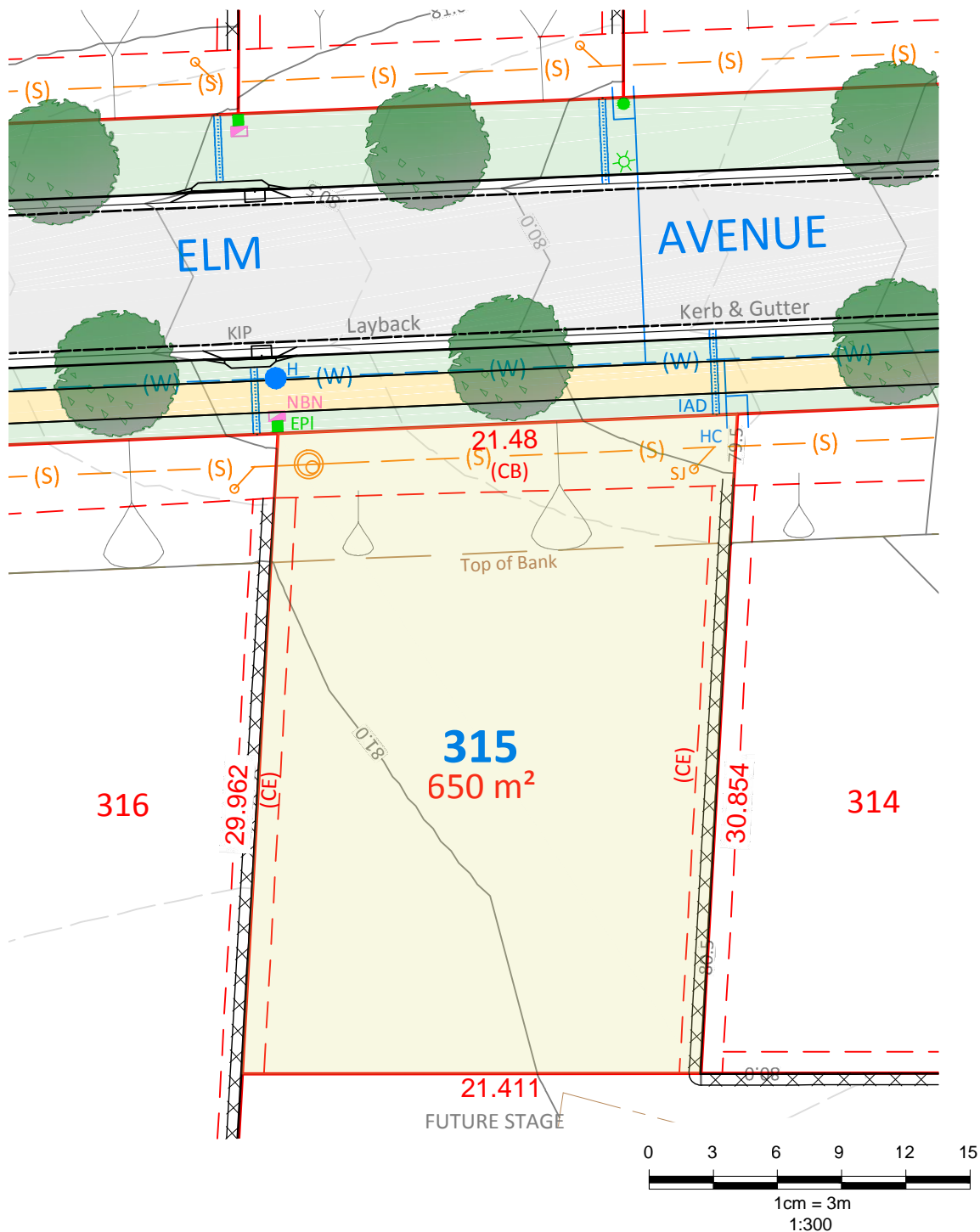
Surveyors Planners Engineers  
Email: [office@newtondennychapelle.com.au](mailto:office@newtondennychapelle.com.au)  
LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
ABN : 86 220 045 469

LOT 314

CLIENT: **McCLOY GROUP**

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20 REF: 18126-3(1)  
SCALE: 1:300@A4 DRAWN: ps



#### EASEMENTS

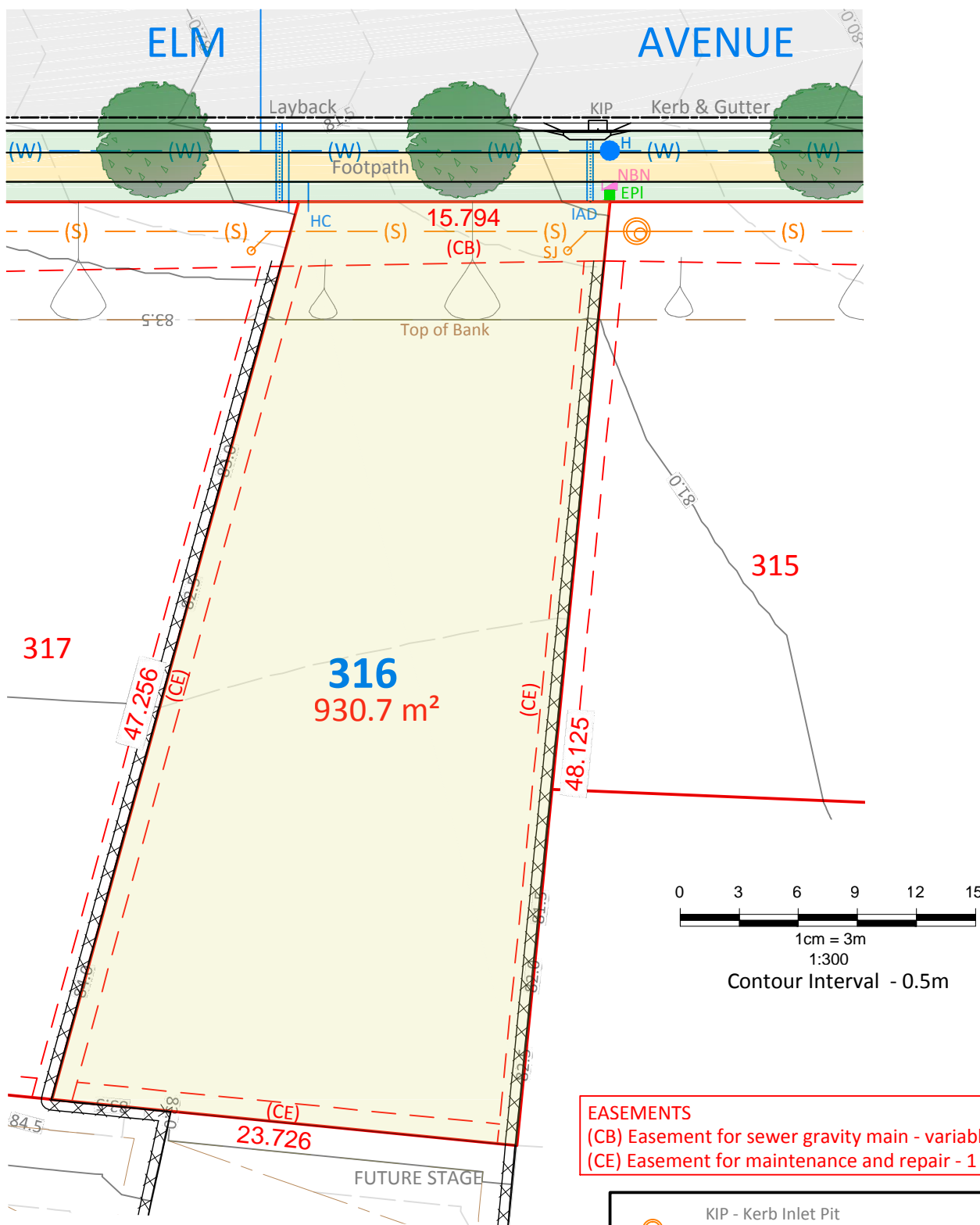
(CB) Easement for sewer gravity main - variable width

(CE) Easement for maintenance and repair - 1 wide

#### NOTE:

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	SMH - Sewer Manhole
	SJ - Sewer Connection
	SwP - Stormwater Pit
	IAD - Drainage Connection
	HC - House Connection - Water
	EPI - Electricity Pillar
	EPt - Electricity Pit
	LP - Light Pole
	NBN - Pit
	Site Boundary
	Easement
	Stormwater Drainage Line
	Sewer Line
	Water Main
	Retaining Wall



**EASEMENTS**  
 (CB) Easement for sewer gravity main - variable width  
 (CE) Easement for maintenance and repair - 1 wide

**NOTE:**  
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- Sewer Line
- Water Main
- Retaining Wall



Property Details:  
 SUBDIVISION OF  
 LOT 200 DP 1266943

Newton Denny Chapelle

Surveyors Planners Engineers  
 Email: office@newtondennychapelle.com.au  
 LISMORE 31 Carrington St. Lismore 2480 PH: 6622 1011  
 CASINO 100 Barker St. Casino 2470 PH: 6662 5000  
 ABN : 86 220 045 469

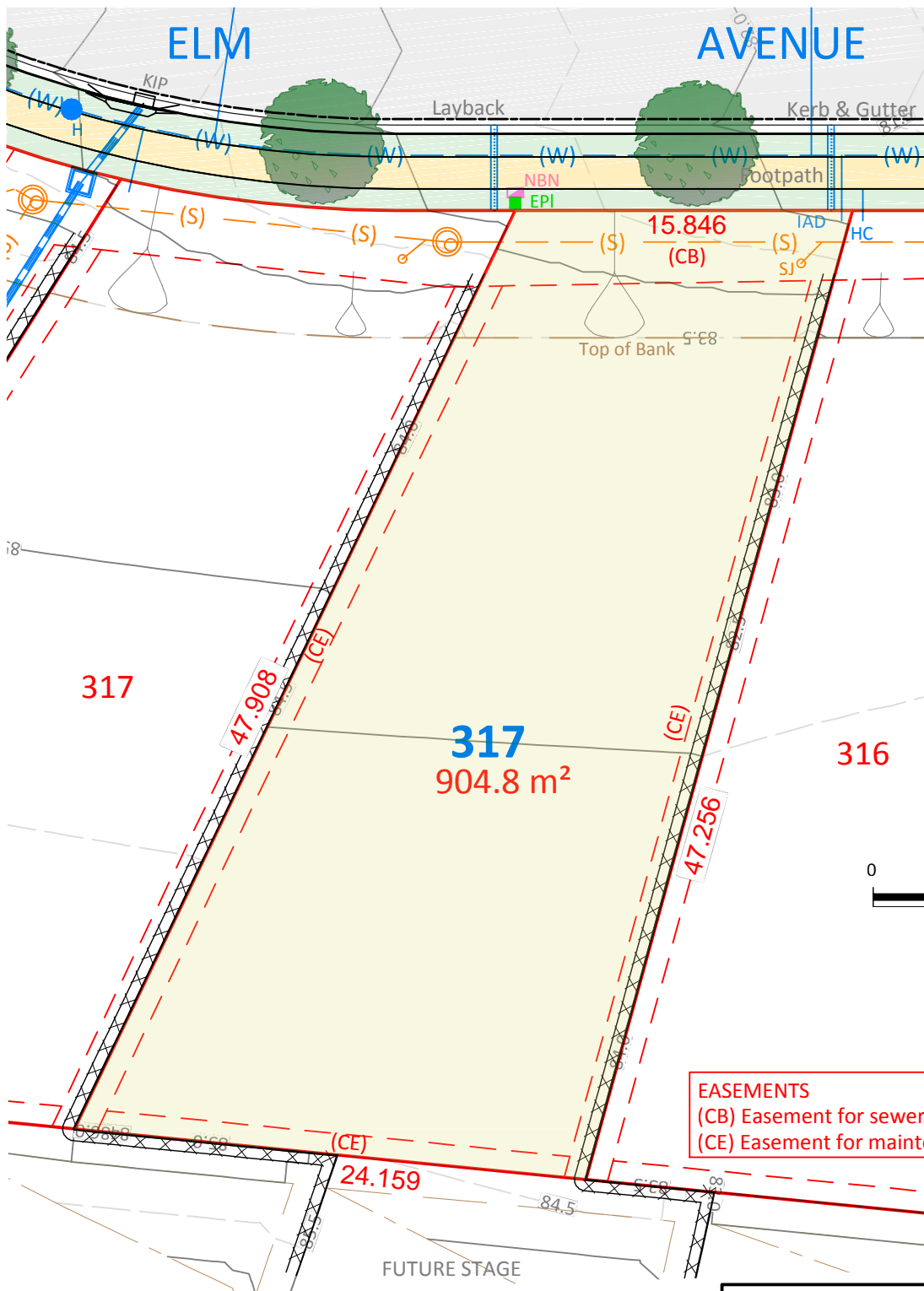
**LOT 316**

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
 Invercauld Road  
 Goonellabah

DATE: 15.06.20  
 SCALE: 1:300@A4

REF: 18126-3(1)  
 DRAWN: ps



**EASEMENTS**  
 (CB) Easement for sewer gravity main - variable width  
 (CE) Easement for maintenance and repair - 1 wide

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**Property Details:**  
 SUBDIVISION OF  
 LOT 200 DP 1266943

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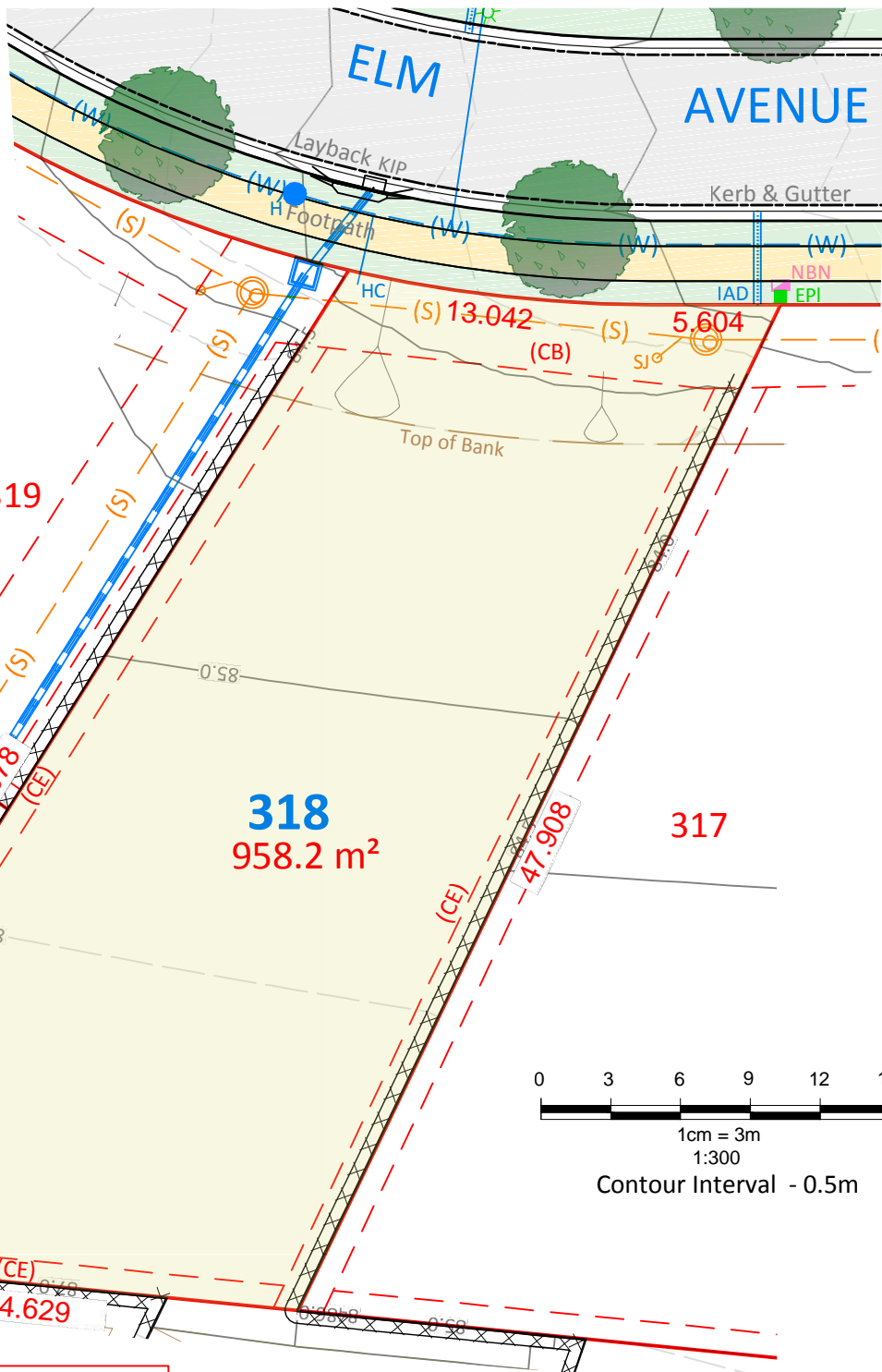
**LOT 317**

**CLIENT:** McCLOY GROUP

**LOCATION:** Eastwood Estate  
 Invercauld Road  
 Goonellabah

**DATE:** 15.06.20  
**SCALE:** 1:300@A4

**REF:** 18126-3(1)  
**DRAWN:** ps



#### EASEMENTS

- (CB) Easement for sewer gravity main - variable width
- (CE) Easement for maintenance and repair - 1 wide

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FUTURE STAGE

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#### LOT 318

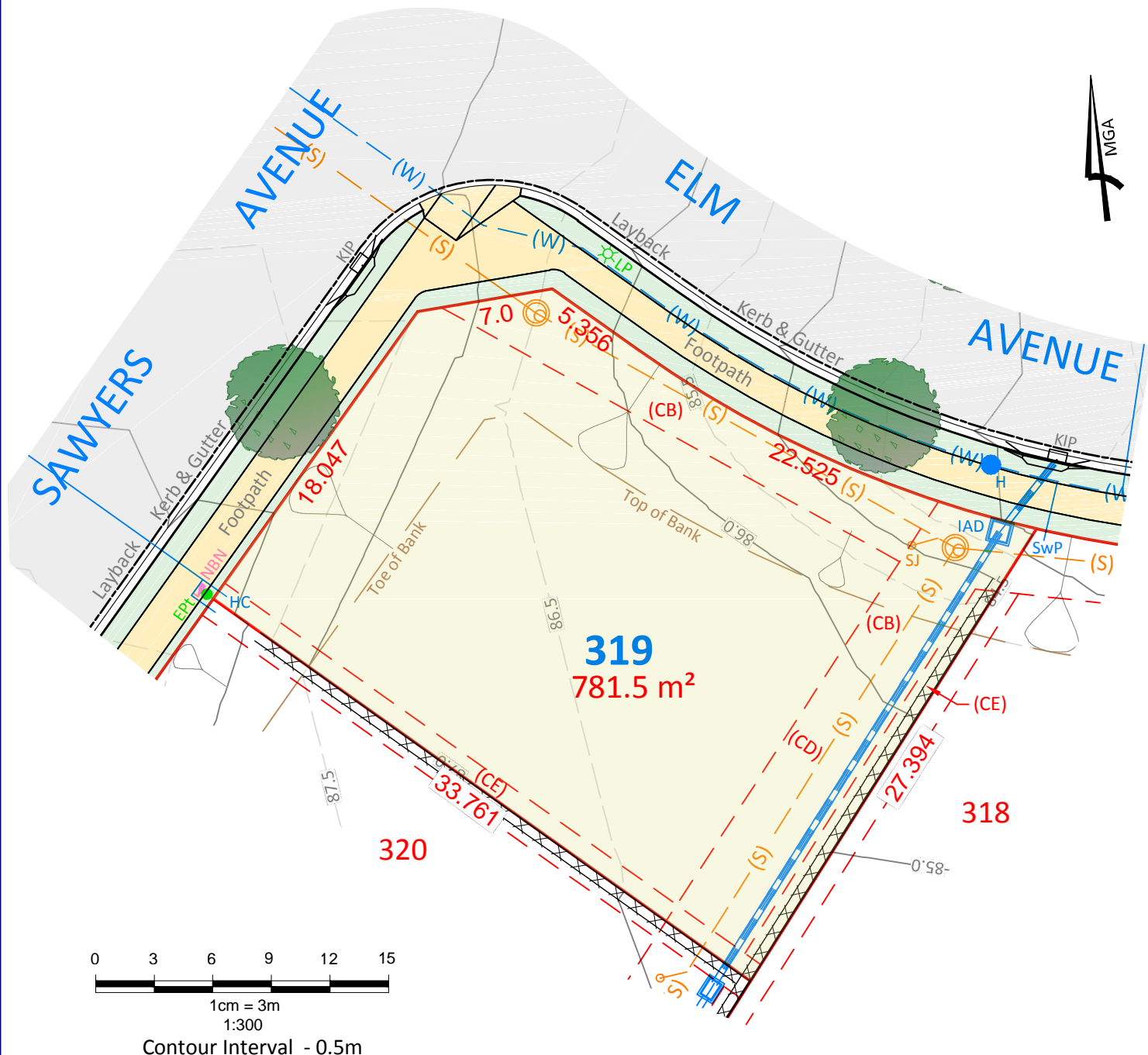
CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps





#### EASEMENTS

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- (CD) Easement to drain water - variable width
- (CE) Easement for maintenance and repair - 1 wide

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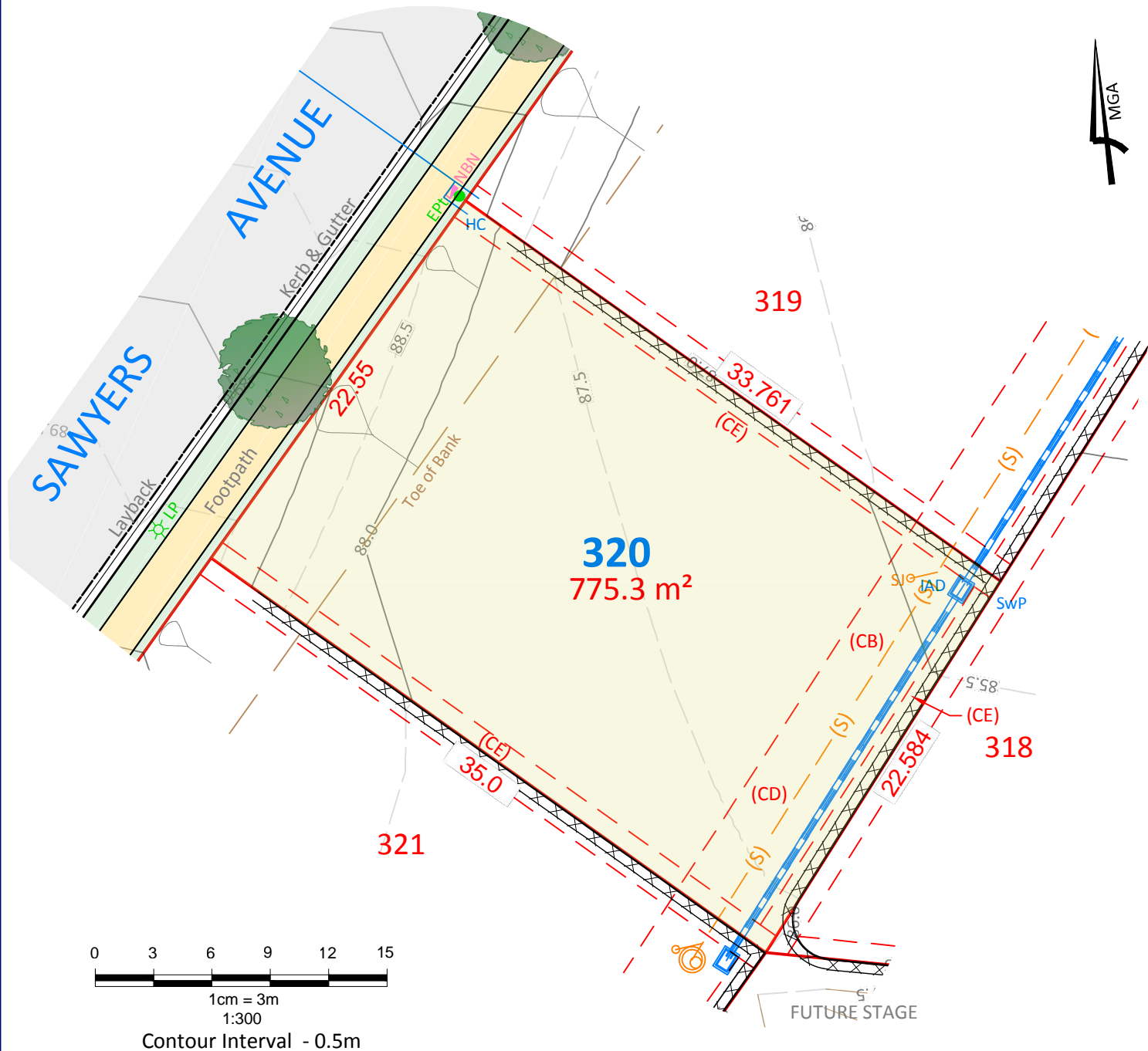
#### LOT 319

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps



#### EASEMENTS

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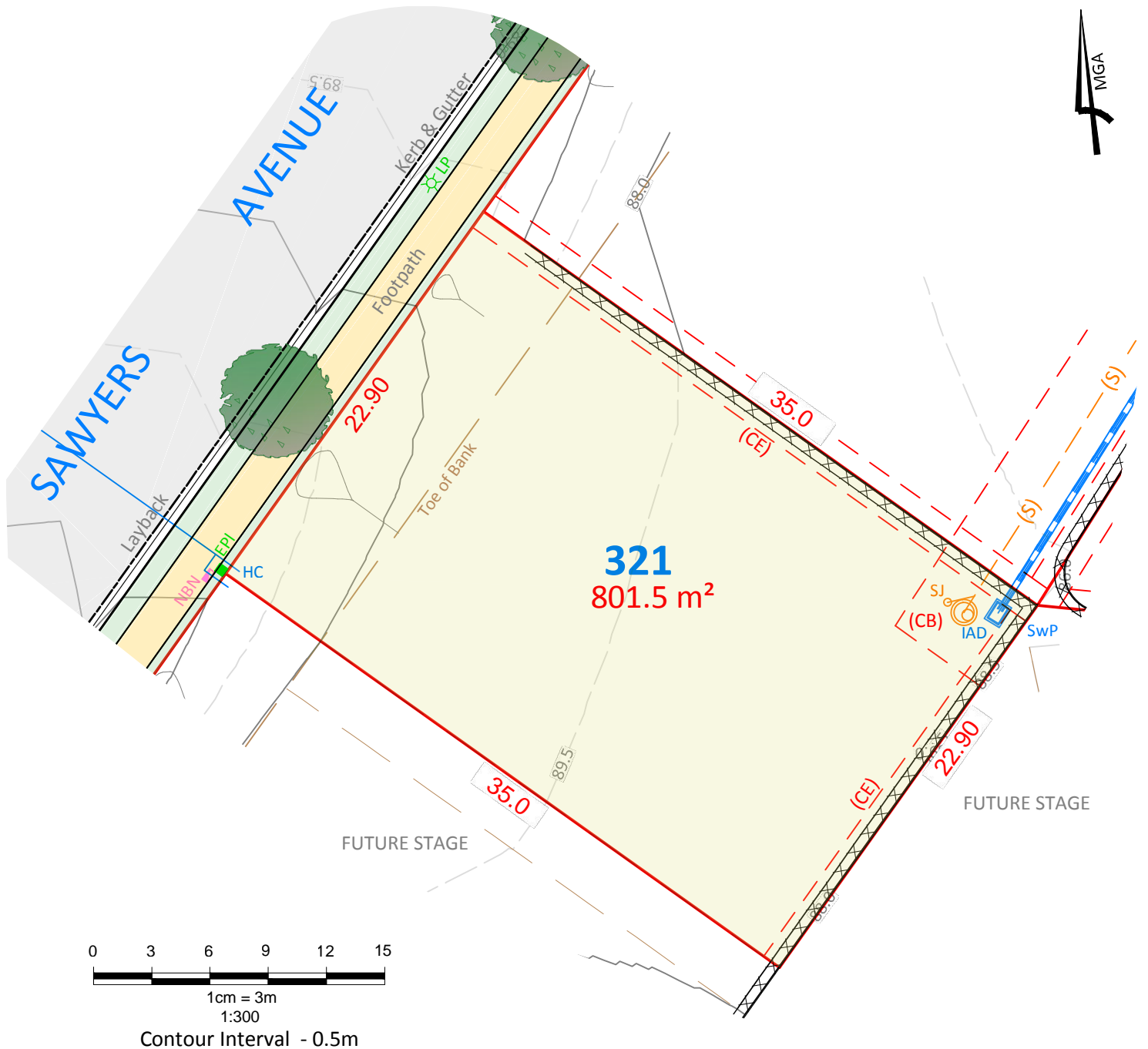


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#### LOT 320

CLIENT: McCLOY GROUP  
LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah  
DATE: 15.06.20 REF: 18126-3(1)  
SCALE: 1:300@A4 DRAWN: ps



#### EASEMENTS

(CB) Easement for sewer gravity main - variable width  
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#### LOT 321

CLIENT: McCLOY GROUP

LOCATION: Eastwood Estate  
Invercauld Road  
Goonellabah

DATE: 15.06.20  
SCALE: 1:300@A4

REF: 18126-3(1)  
DRAWN: ps