

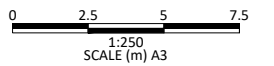
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



CAD File Name: 18126-06-SU-SA.dwg

IMPORTANT NOTE:
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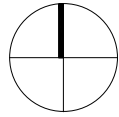
**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 601**

CLIENT: McCLOY GROUP
 LOCATION: LOT 601
 MAHOGANY PARADE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-601

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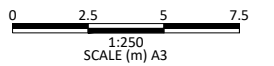
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

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- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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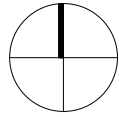
**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 602**

CLIENT: McCLOY GROUP
 LOCATION: LOT 602
 MAHOGANY PARADE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-602

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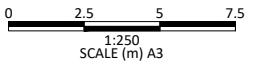
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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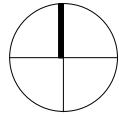
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**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 603**

CLIENT: McCLOY GROUP
LOCATION: LOT 603
 MAHOGANY PARADE
 GOONELLABAH NSW

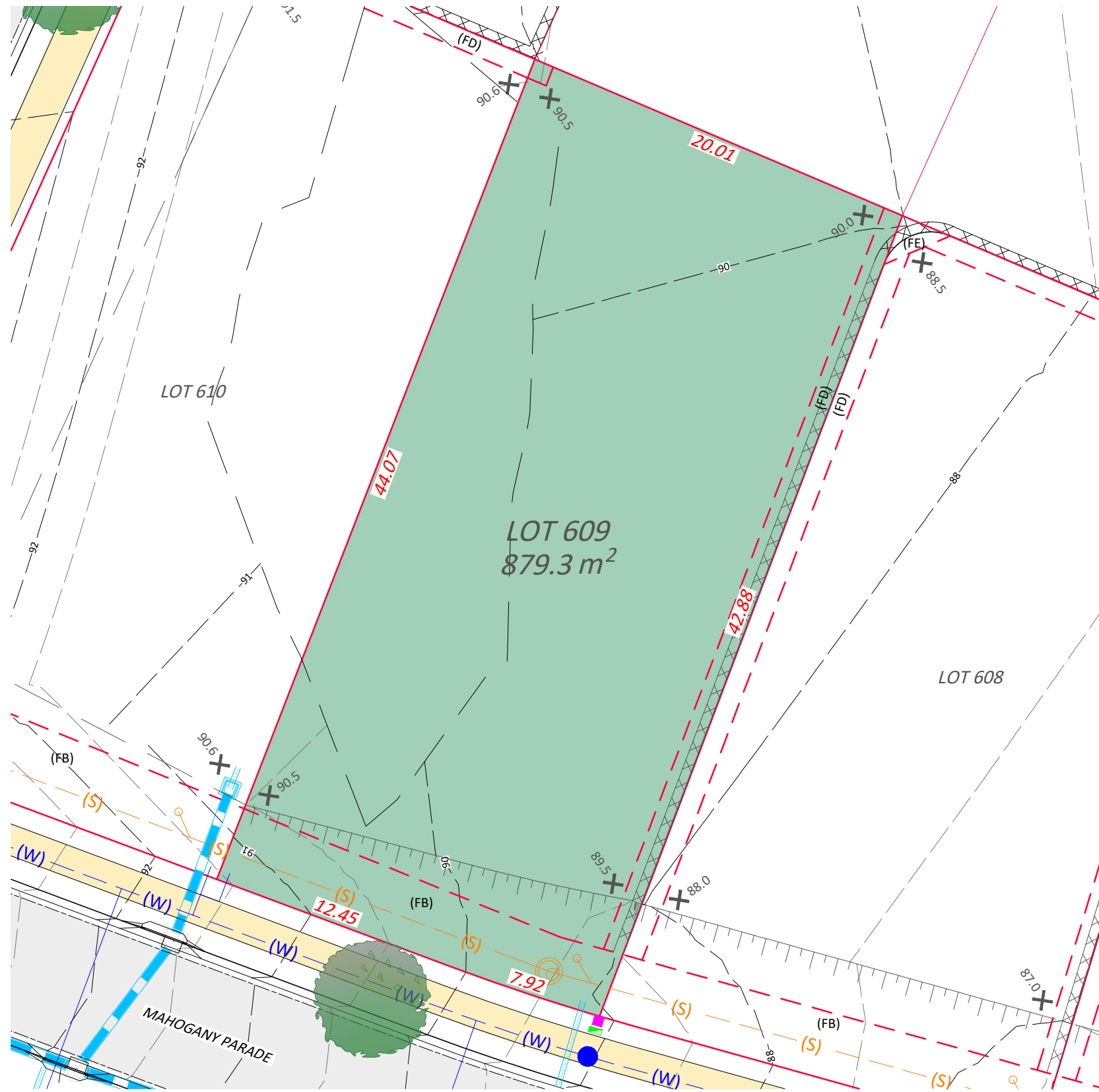
DATE: 24.01.2022
SCALE: 1:250 @ A3

DRAWN: D. YOUNG
REF: 18126-06-SU-SA-603



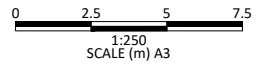
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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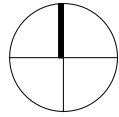
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EASTWOOD ESTATE - STAGE 6
PROPOSED LOT 609

CLIENT: McCLOY GROUP
 LOCATION: LOT 609
 MAHOGANEY PARADE
 GOONELLABAH NSW

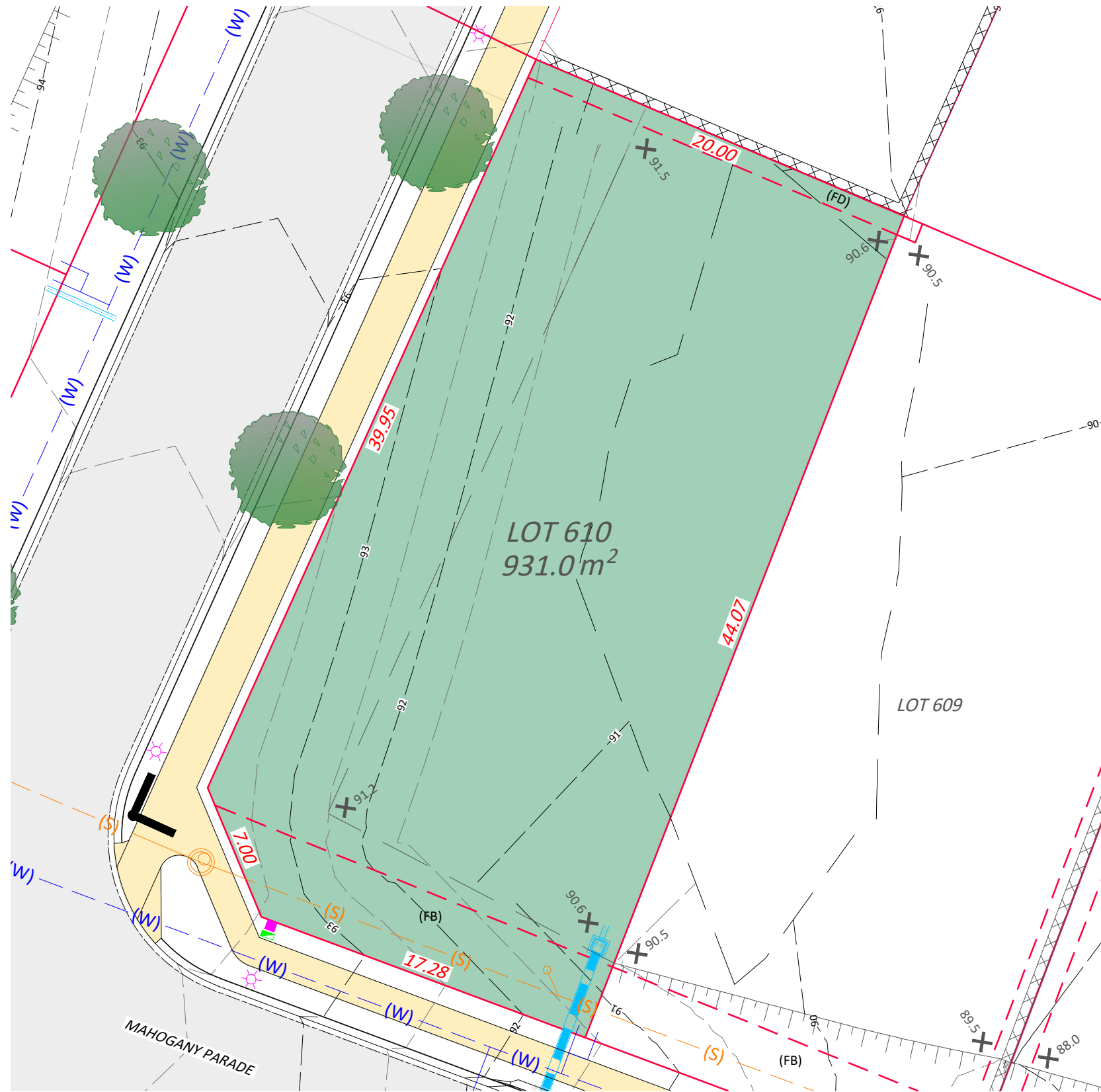
DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-609



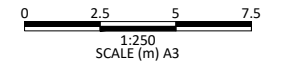
LEGEND

- PROPERTY BOUNDARY
- - - EASEMENT
- x x x x x x x x x x ROCK RETAINING WALL
- - - 77 - - - DESIGN CONTOURS (0.50m INTERVALS)
- x 74.30 FINISHED SURFACE LEVELS
- (S) — SEWER GRAVITY MAIN
- o SEWER JUNCTION / MANHOLE
- (W) — WATER MAIN (POTABLE)
- x WATER HYDRANT / STOP VALVE
- - - STORMWATER DRAINAGE
- - - LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- * STREET LIGHT
- NBN PIT
- o STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE

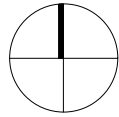


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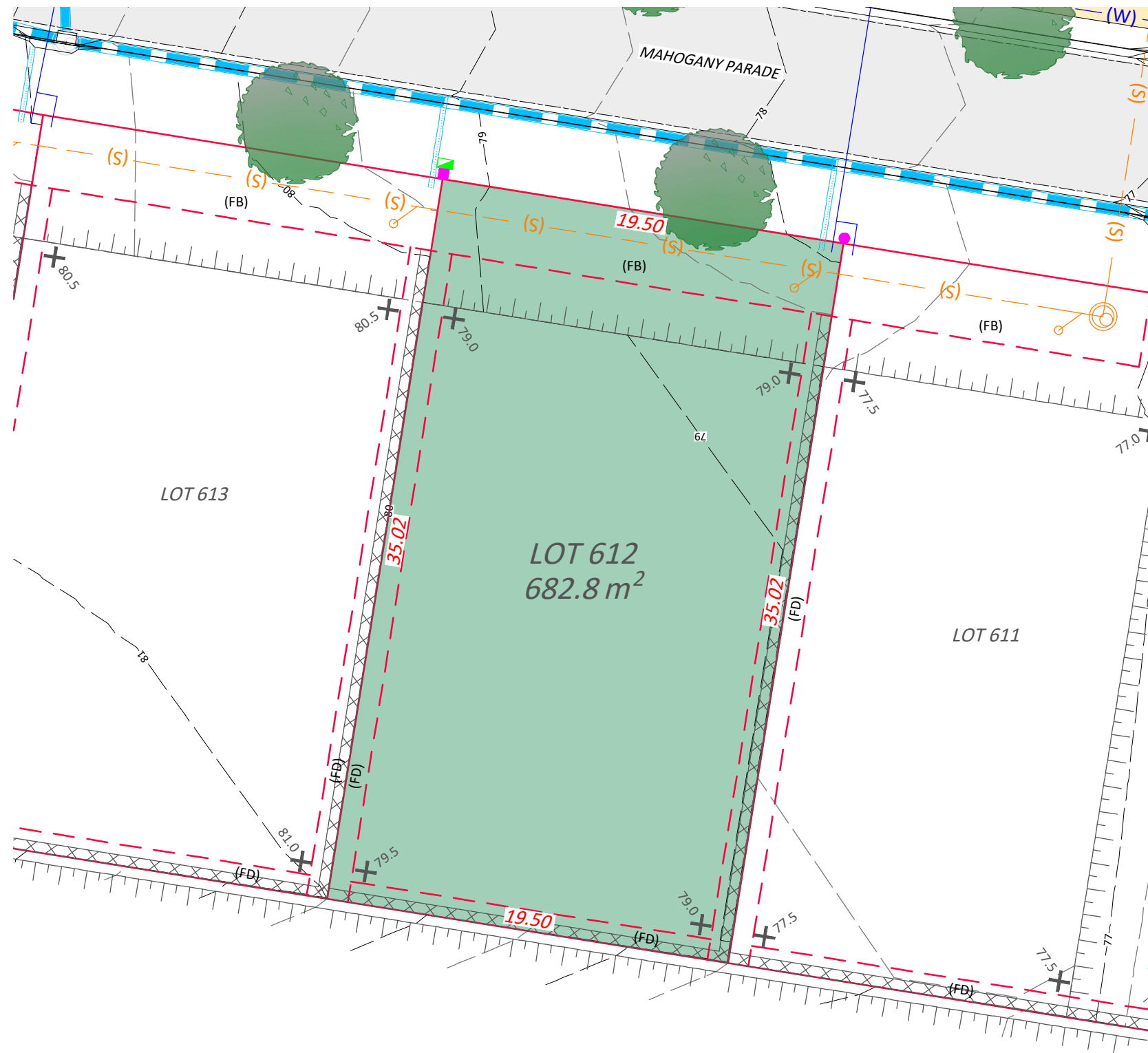
**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 610**

CLIENT: McCLOY GROUP
LOCATION: LOT 610
 MAHOGANEY PARADE
 GOONELLABAH NSW
DATE: 30.11.2021
SCALE: 1:250 @ A3
DRAWN: D. YOUNG
REF: 18126-06-SU-SA-610



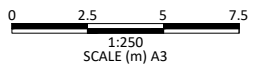
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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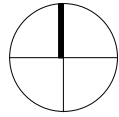
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EASTWOOD ESTATE - STAGE 6
PROPOSED LOT 612




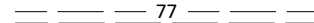











CLIENT: McCLOY GROUP
 LOCATION: LOT 612
 MAHOGANEY PARADE
 GOONELLABAH NSW

DATE: 24.01.2022
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-612



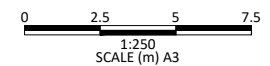
LEGEND

-  PROPERTY BOUNDARY
-  EASEMENT
-  ROCK RETAINING WALL
-  DESIGN CONTOURS (0.50m INTERVALS)
-  FINISHED SURFACE LEVELS
-  SEWER GRAVITY MAIN
-  SEWER JUNCTION / MANHOLE
-  WATER MAIN (POTABLE)
-  WATER HYDRANT / STOP VALVE
-  STORMWATER DRAINAGE
-  LOT STORMWATER OUTLET
-  ELECTRICAL PILLAR
-  STREET LIGHT
-  NBN PIT
-  STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
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- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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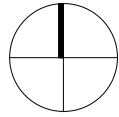
EASTWOOD ESTATE - STAGE 6
PROPOSED LOT 613

CLIENT: McCLOY GROUP
 LOCATION: LOT 613
 MAHOGANEY PARADE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-613

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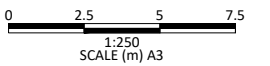
LEGEND

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- FINISHED SURFACE LEVELS
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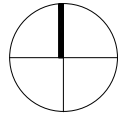
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**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 614**

CLIENT: McCLOY GROUP
 LOCATION: LOT 614
 MAHOGANEY PARADE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-614



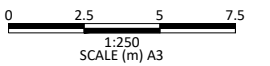
LEGEND

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- FINISHED SURFACE LEVELS
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- WATER HYDRANT / STOP VALVE
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- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

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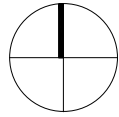
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**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 618**

CLIENT: McCLOY GROUP
LOCATION: LOT 618
 MAHOGANEY PARADE
 GOONELLABAH NSW

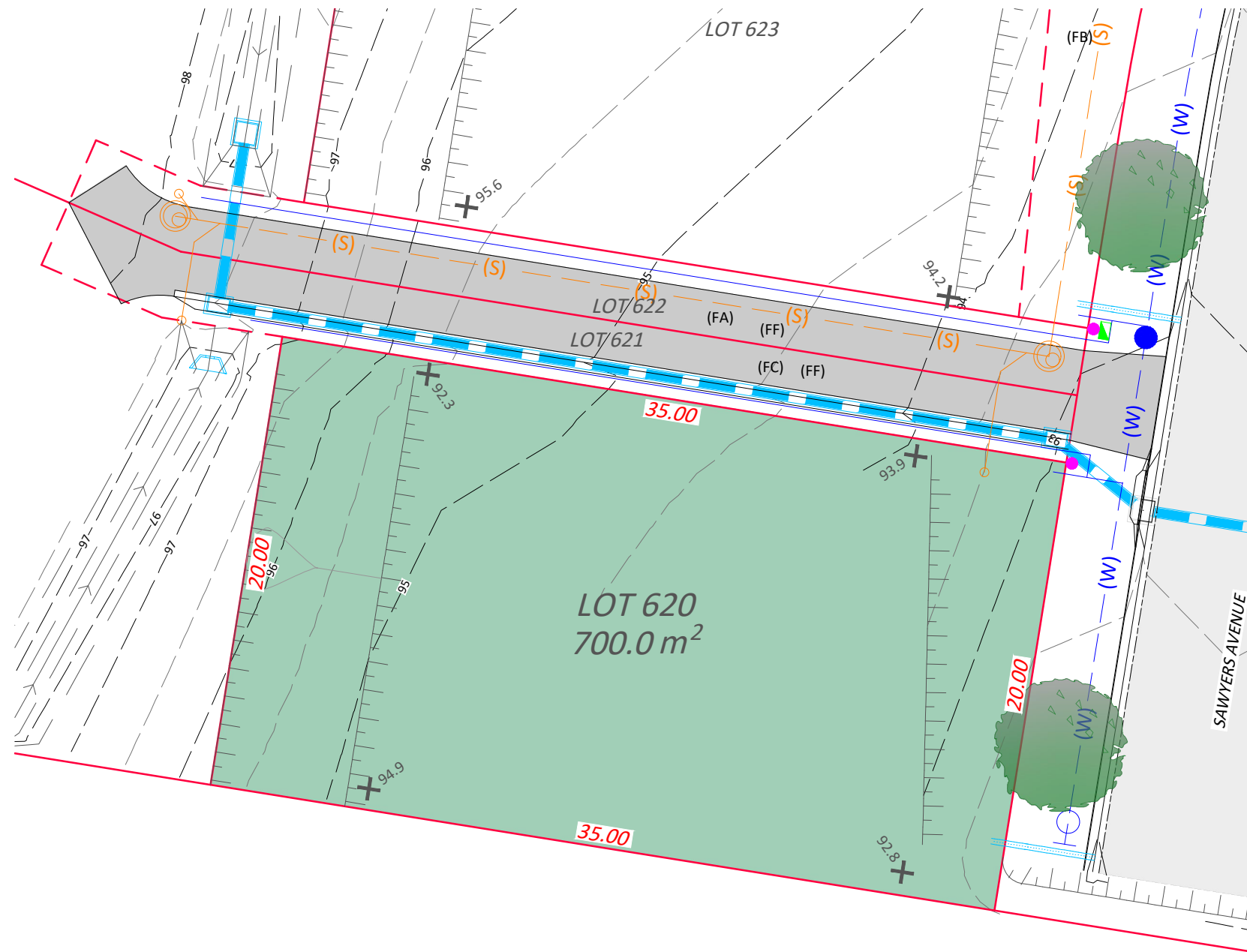
DATE: 24.01.2022
SCALE: 1:250 @ A3

DRAWN: D. YOUNG
REF: 18126-06-SU-SA-618



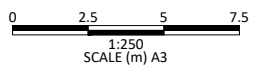
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
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- LOT STORMWATER OUTLET
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- STREET LIGHT
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- STREET TREE



RESTRICTIONS

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- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
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- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



CAD File Name: 18126-06-SU-SA.dwg

IMPORTANT NOTE:
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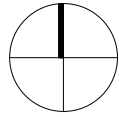
**EASTWOOD ESTATE - STAGE 6
 PROPOSED LOT 620**

CLIENT: McCLOY GROUP
LOCATION: LOT 620
 SAWYERS AVENUE
 GOONELLABAH NSW

DATE: 24.01.2022
SCALE: 1:250 @ A3

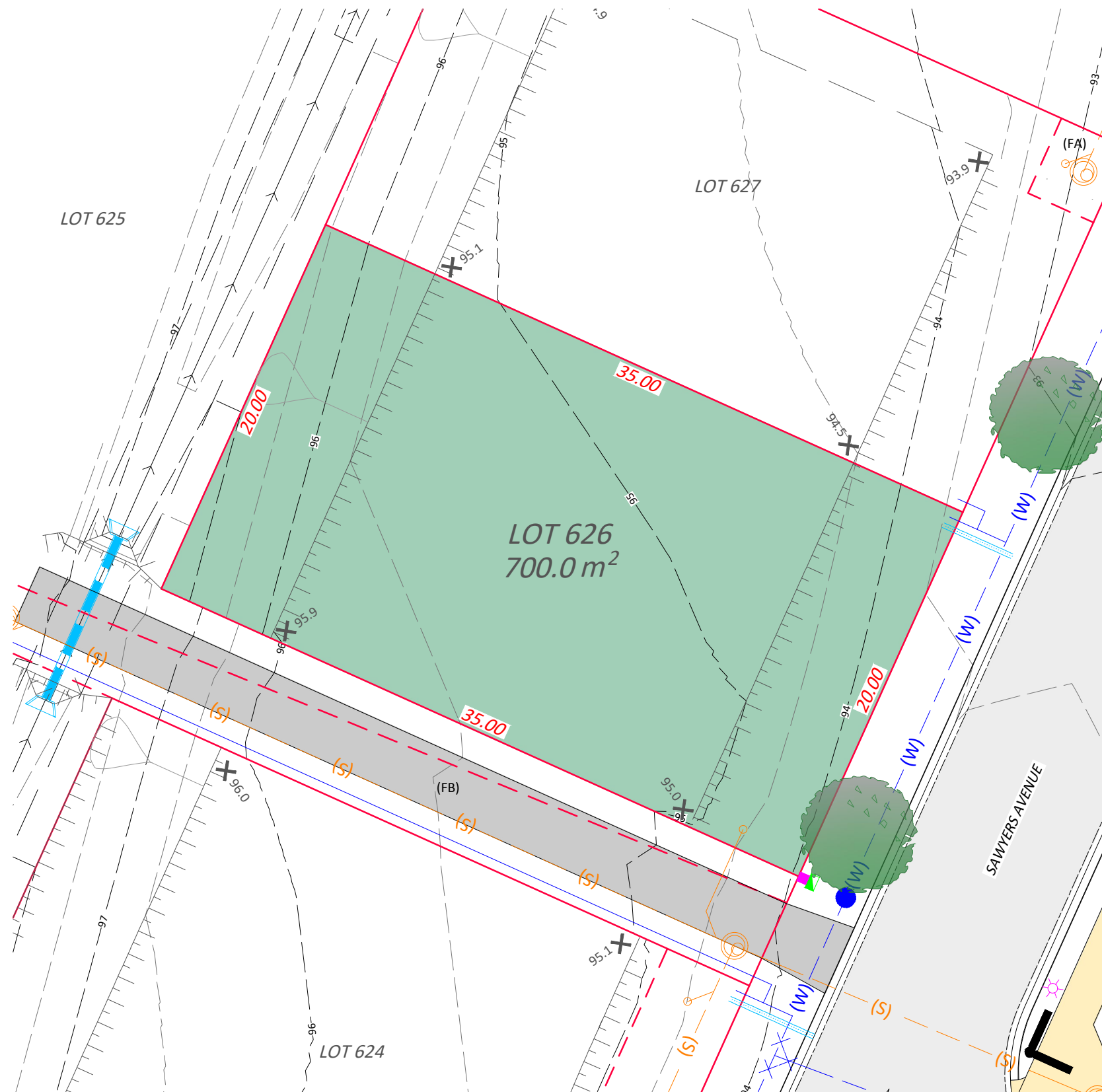
DRAWN: D. YOUNG
REF: 18126-06-SU-SA-620

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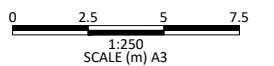
LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



CAD File Name: 18126-06-SU-SA.dwg

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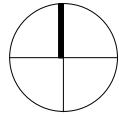
EASTWOOD ESTATE - STAGE 6
PROPOSED LOT 626

CLIENT: McCLOY GROUP
 LOCATION: LOT 626
 SAWYERS AVENUE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

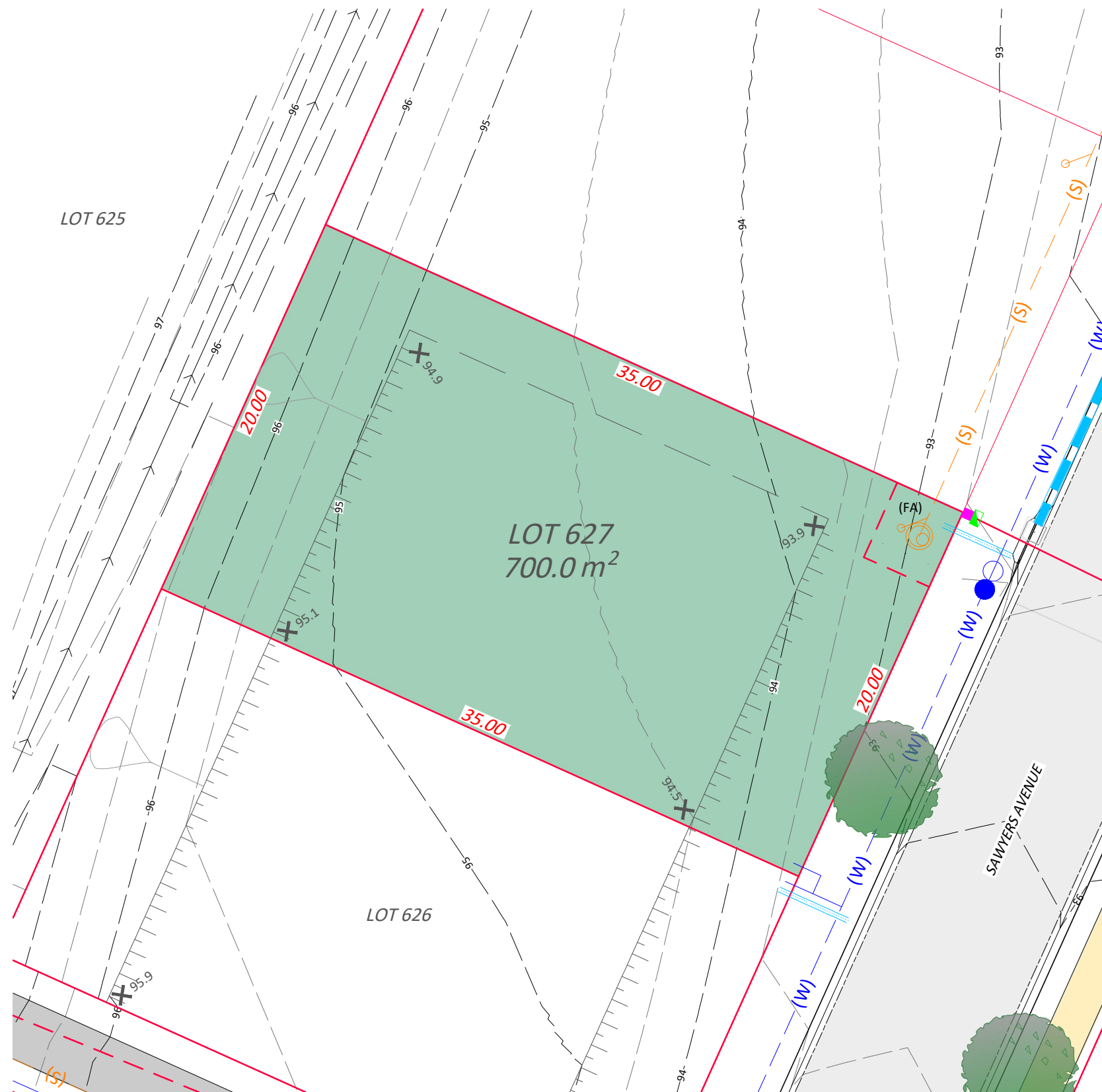
DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-626

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LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- ROCK RETAINING WALL
- DESIGN CONTOURS (0.50m INTERVALS)
- FINISHED SURFACE LEVELS
- SEWER GRAVITY MAIN
- SEWER JUNCTION / MANHOLE
- WATER MAIN (POTABLE)
- WATER HYDRANT / STOP VALVE
- STORMWATER DRAINAGE
- LOT STORMWATER OUTLET
- ELECTRICAL PILLAR
- STREET LIGHT
- NBN PIT
- STREET TREE



RESTRICTIONS

- (FA) EASEMENT FOR SEWER GRAVITY MAIN 3 WIDE
- (FB) EASEMENT FOR SEWER GRAVITY MAIN - VARIABLE WIDTH
- (FC) EASEMENT TO DRAIN WATER 3 WIDE
- (FD) EASEMENT FOR MAINTENANCE AND REPAIR 1 WIDE
- (FE) EASEMENT FOR MAINTENANCE AND REPAIR VARIABLE WIDE
- (FF) RIGHT OF CARRIAGEWAY 3 WIDE



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**EASTWOOD ESTATE - STAGE 6
PROPOSED LOT 627**

CLIENT: McCLOY GROUP
 LOCATION: LOT 627
 SAWYERS AVENUE
 GOONELLABAH NSW

DATE: 30.11.2021
 SCALE: 1:250 @ A3

DRAWN: D. YOUNG
 REF: 18126-06-SU-SA-627